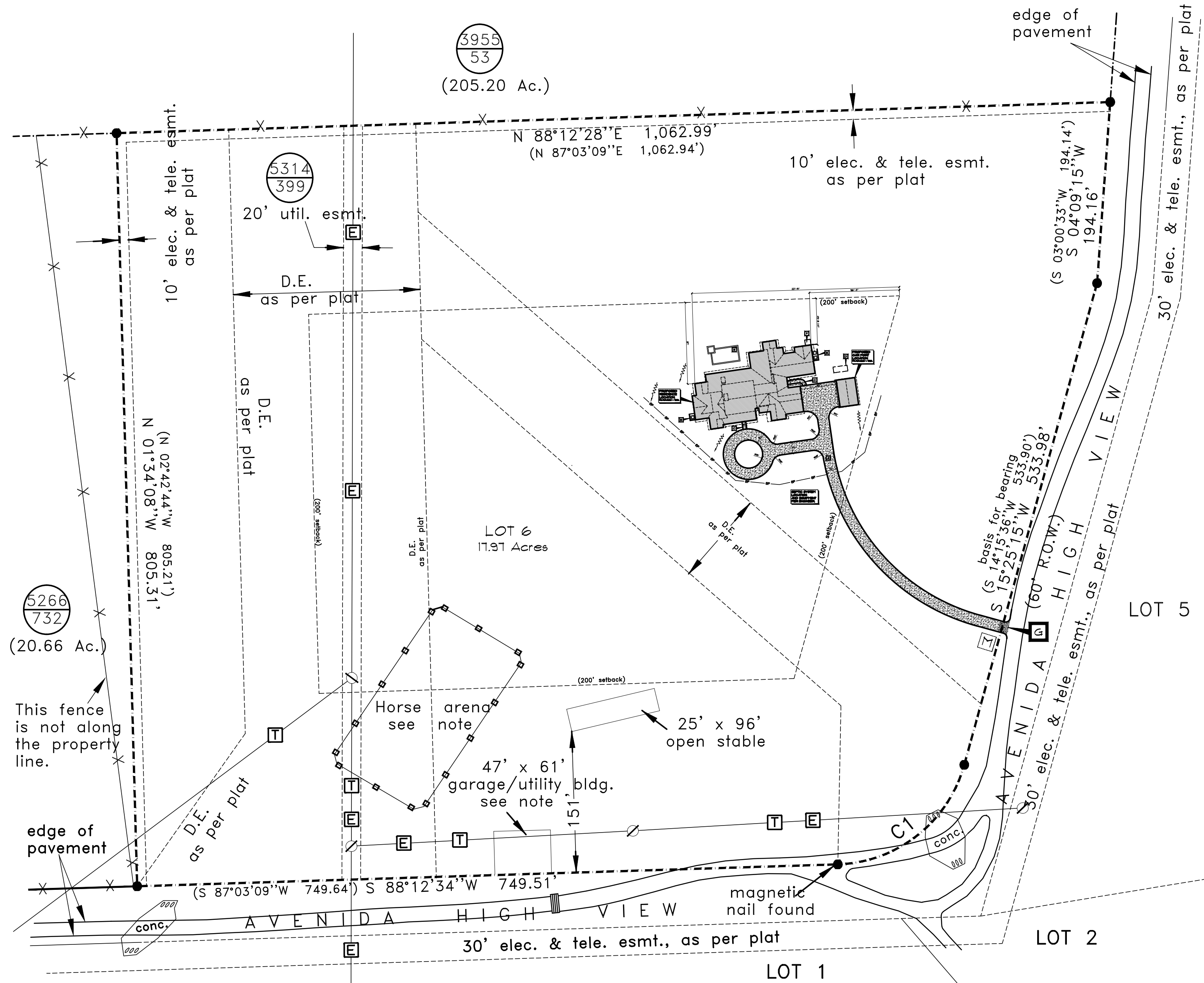




#### GENERAL SITE NOTES:

- BUILDER TO RESURFCE TOPOGRAPHY AND/OR FINISHED GRADE AS REQ'D. TO PROVIDE POSITIVE DRAINAGE OF SURFACE WATER AWAY FROM BUILDING 4 TO PREVENT NEGATIVE IMPACT ON ADJACENT PROPERTY.
- FINAL LOCATION OF RESIDENCE AND FINISHED FLOOR ELEVATION TO BE VERIFIED BY BUILDER AND APPROVED BY OWNER PRIOR TO SLAB FORMWORK BEING ERECTED.
- MAXIMUM AMOUNT OF EXPOSED FOUNDATION TO BE 24" UNLESS NOTED OTHERWISE BY CITY, COUNTY OR SUBDIVISION REQUIREMENTS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION. UTILITY LINE LOCATIONS ARE APPROXIMATE. GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- BUILDER TO PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- BUILDER TO PROVIDE FOR EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BUILDER TO PROVIDE FOR STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED BY OWNER 4 BUILDER PRIOR TO INSTALLATION.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- ALL EXTERIOR MECH 4 HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- TRASH CAN TO BE STORED IN GARAGE OR IN AN AREA SCREENED FROM PUBLIC VIEW AND PROTECTED FROM ANIMAL ACCESS.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.
- LANDSCAPE PLAN 4 PERMITS BY OTHERS.
- RETAINING WALLS NOT TO EXCEED 12" ABOVE MATERIAL BEING RETAINED WHEN LOCATED W/ IN THE 25' SETBACK.
- YARD LIGHT WITH PHOTO-LIGHT.

#### TYP. ABBREVIATIONS:

- ABV - ABOVE  
ADJ. - ADJACENT  
A/C - AIR CONDITIONING  
AFG - ABOVE FINISHED FLOOR  
APPRX. - APPROXIMATELY  
ARCH - ARCHED  
B.I. - BUILT IN  
BLW - BELOW  
B.O.B. - BOTTOM OF BEAM  
CLG. - CEILING  
CO - CASED OPENING  
COL. - COLUMN  
CONC. - CONCRETE  
CONT. - CONTINUOUS  
CR - CURBET  
CT - CASEMENT WINDOW  
DBL. - DOUBLE  
DHL - DBL. HUNG WINDOW  
DHL - DBL. HUNG DIVIDED LT.  
DTL. - DETAIL  
DR - DOOR  
DRS. - DRESSING  
DU - DISHWASHER  
DUG. - DRAWING  
ELEC. - ELECTRICAL  
ELV. - ELEVATION  
F.D. - FURR-DOWN  
FF - FINISHED FLOOR  
FG - FIXED GLASS  
FLR. - FLOOR  
FR DR. - FRENCH DOOR  
GD - GARBAGE DISPOSAL  
HS - HOSE BIB  
HDR. - HEADER  
HH - HEADER HEIGHT  
HS - HORIZONTAL SLIDER  
HVAC - HEATING/VENTILATION/AIR CONDITIONING  
HT - HEIGHT  
INT. VLT. - INTERIOR VAULT  
K.B. - KNEE SPACE  
LN. - LINEN  
LT. - LIGHT

#### LEGEND:

- 1/2" GAS KEY 1/2" SHOWER HEAD 1/2" HOSE BIBB  
1/2" RETURN AIR GRILL 2 (A-G) INTERIOR ELEVATION SYMBOL (H) WATER HEATER (US) WATER SOFTENER  
1/2" INTERIOR DOOR CALL-OUT 1/2" TANKLESS WATER HEATER 1/2" PASSIVE ACTIVE

#### CURVE DATA

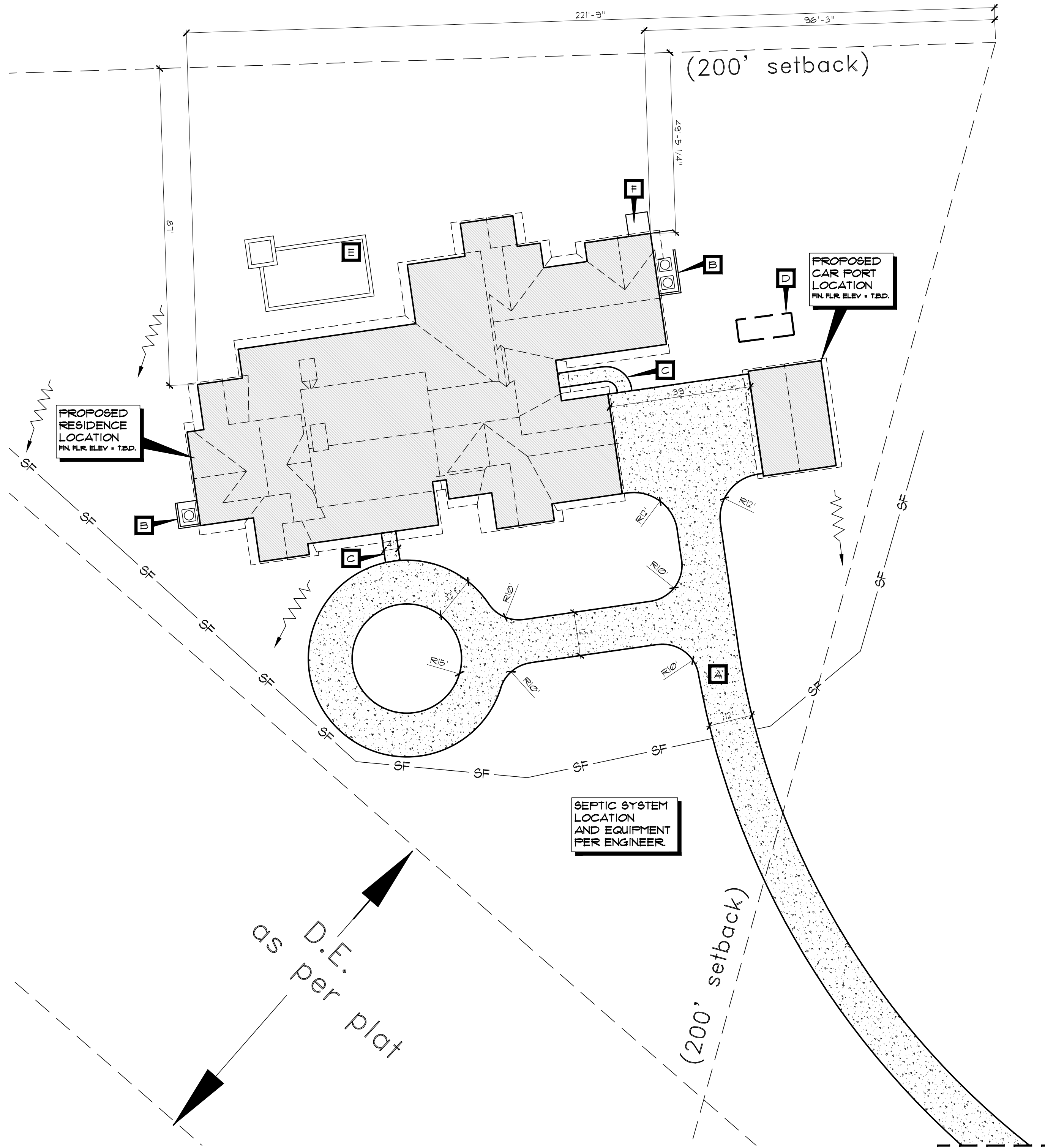
- C1  
D = 72°47'40" (72°47'33")  
R = 145.00' (145.00')  
A = 184.22' (184.22')  
C = 172.08' (172.08')  
@ S 51°47'40"W (S 50°39'23" W)

#### OVERALL SITE PLAN

SCALE: N.T.S.

#### BUILDING LOCATION NOTES

- SITE PLAN INFORMATION IS BASED ON INFORMATION PROVIDED TO ARCHITECT BY THE PROPERTY OWNER. ARCHITECT DID NOT RESEARCH THIS INFORMATION AND DOES NOT CERTIFY COMPLIANCE TO ANY POTENTIAL RESTRICTIONS REFERENCED BY THIS INFORMATION. ARCHITECT DOES NOT CERTIFY THIS INFORMATION FOR COMPLIANCE, AUTHENTICITY, COMPLETENESS OR ACCURACY. HOME OWNER/ BUILDER ASSUMES ALL RESPONSIBILITY/ LIABILITY TO VERIFY COMPLIANCE, AUTHENTICITY, COMPLETENESS OR ACCURACY.
- RESIDENCE LOCATION IS APPROXIMATE. BLDG. TO DETERMINE EXACT LOCATION 4 TO VERIFY EXISTING CONDITIONS, PERTINENT UTILITY LOCATIONS/CONNECTIONS, SETBACKS AND EASEMENTS, PRIOR TO COMMENCING ANY WORK.
- BLDG. TO REGRADE TERRAIN ADJACENT TO BLDG. AS REQ'D. TO ACCOMMODATE VEHICLE AND PEDESTRIAN ACCESS.



#### GENERAL SITE LEGEND

- SF SILT FENCE  
CONSTRUCTION ENTRY  
MAILBOX  
AC PAD (1 OR 2) W/ SCREEN WALL PER BLDG. SPECS.  
DRAINAGE ARROW (DIRECTION OF FLOW)  
DRIVEWAY: FINISH PER SPECS.

#### SURVEY LEGEND

- = 1/2" iron pin found unless otherwise noted  
-x- = wire fence  
-w- = wood fence  
DE = drainage easement  
UE = utility easement  
-E- = overhead electric line  
-T- = overhead telephone line  
Ø = utility pole  
(XXXX) = recorded data  
(Vol Page) = Hays County Deed Records

#### SITE PLAN NOTES:

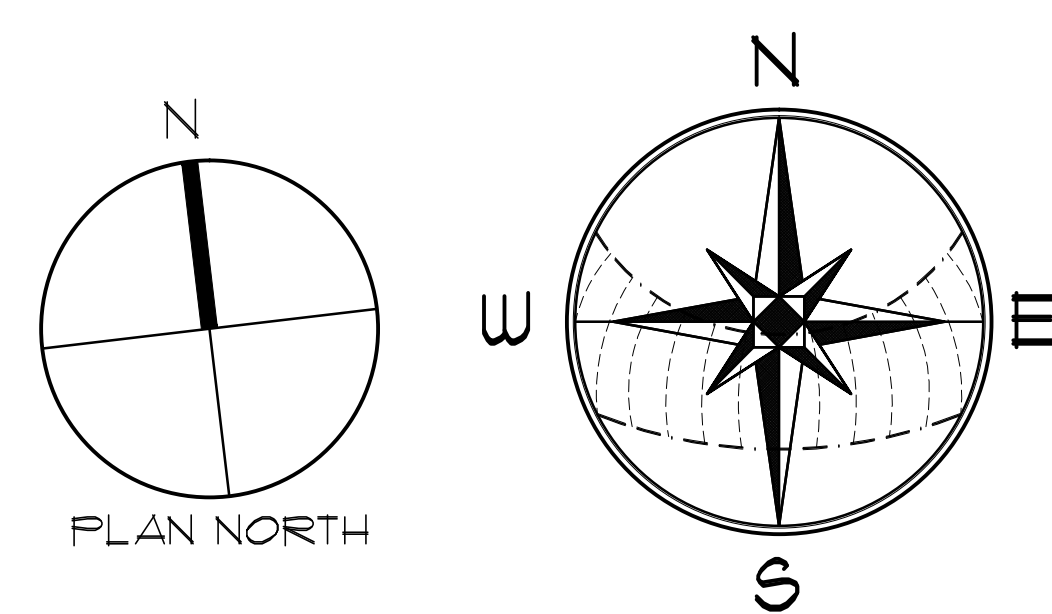
- DRIVEWAY PER BLDG. SPECS.
- A/C PAD W/ 48" HT. MASONRY SCREEN WALL.
- 4" LANDSCAPED WALKWAY PER LANDSCAPE DESIGNER.
- BURIED PROPANE TANK PER CODE 4 BLDG. SPECS. INSTALL PER MANUF. SPECS.
- PROPOSED POOL LOCATION. EXACT LOCATION FOR POOL, EQUIPMENT 4 SAFETY FENCING PER POOL DESIGNER.
- POOL EQUIPMENT PROPOSED LOCATION. VERIFY LOCATION W/ POOL CONSULTANT 4 OWNER.
- CONSTRUCTION ENTRY: APPRX. 10' x 20' AREA OF BULLROCK (2'-3')

#### IMPERVIOUS COVER CALC

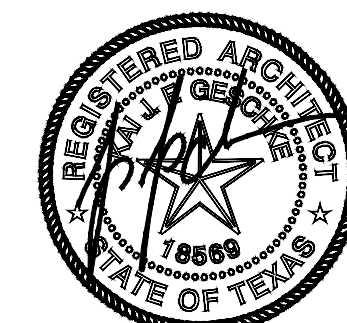
|                   |          |
|-------------------|----------|
| RESIDENCE / BLDG: | 1,322    |
| DBL. CARPORT:     | 586      |
| NEW DRIVEWAY:     | 1,336    |
| AC PAD(S):        | 114      |
| POOL EQUIP. PAD:  | 36       |
| WALKWAYS:         | 116      |
| TOTAL:            | 15,510   |
| TOTAL LOT AREA    | 182,853# |

#### SITE PLAN (DETAIL)

SCALE: 1" = 20'-0"



A PERSONAL RESIDENCE FOR  
**HILARY AND GREG CLARK**  
AVENIDA HIGH VIEW  
LOT 6 HIGH VIEW RANCH  
HAYS COUNTY, TEXAS



14 NOV. 2017

#### REVISIONS:

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**GESCHKE GROUP ARCHITECTURE**  
5910 COURTYARD DRIVE # 350  
AUSTIN, TEXAS 78721  
TEL: (512) 592-8664  
WWW.GESCHKEGROUP.COM

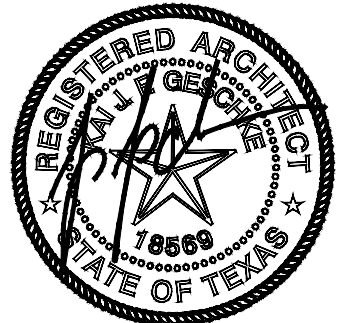
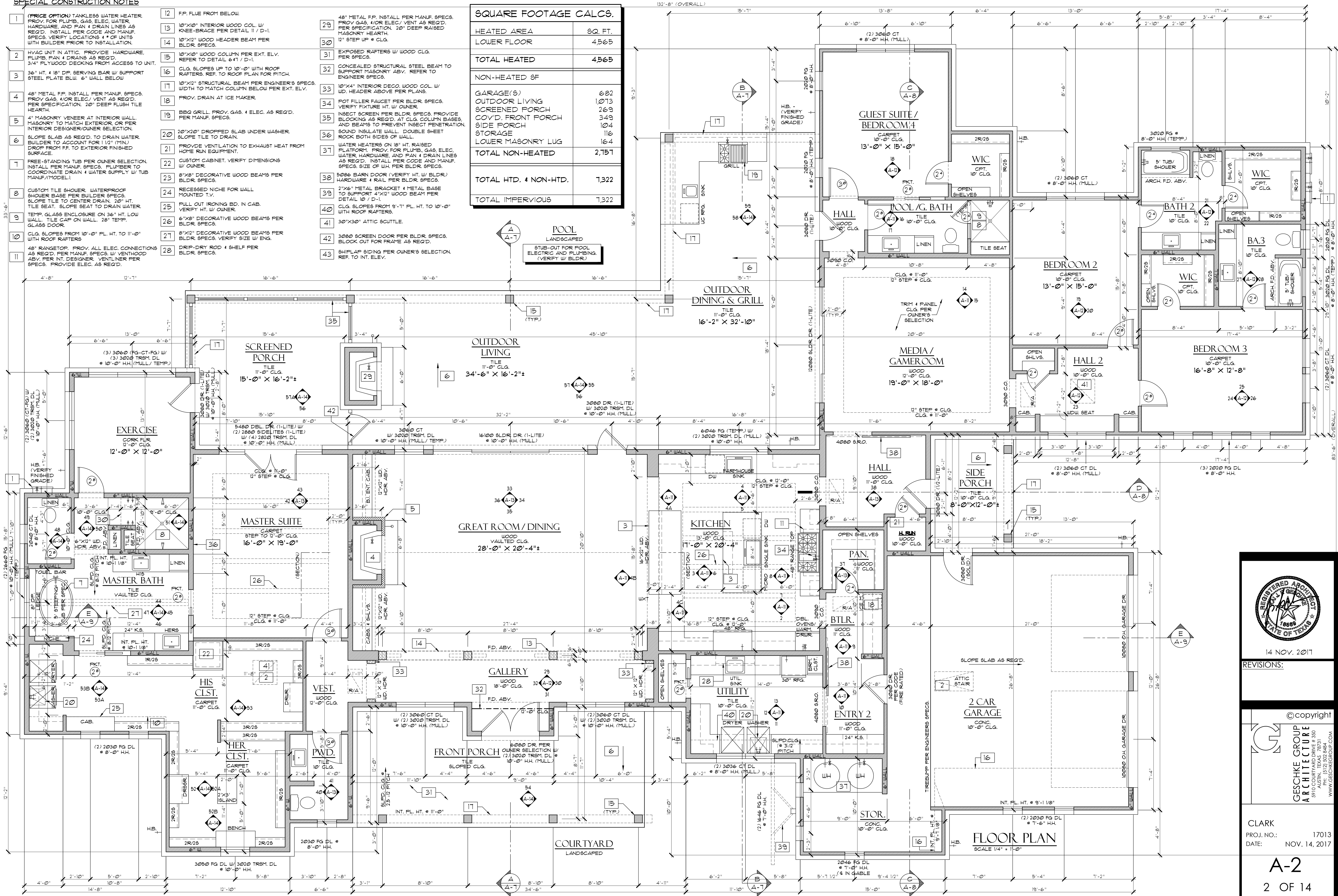
CLARK  
PROJ. NO.: 17013  
DATE: NOV. 14, 2017

A-1

SPECIAL CONSTRUCTION NOTES

- 1 (PRICE OPTION) TANKLESS WATER HEATER, PROV. FOR PLUMB, GAS, ELEC. WATER, HARDWARE, AND FAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS. VERIFY LOCATIONS & # OF UNITS WITH BUILDER PRIOR TO INSTALLATION.
- 2 HVAC UNIT IN ATTIC. PROVIDE HARDWARE, PLUMB, FAN & DRAIN LINES AS REQ'D. 3/4" FLYWOOD DECKING FROM ACCESS TO UNIT.
- 3 36" HT. & 18" D.P. SERVING BAR W/ SUPPORT STEEL PLATE BLW. 6" WALL BELOW
- 4 48" METAL F.P. INSTALL PER MANUF. SPECS. PROV. GAS, 4/OR ELEC./ VENT AS REQ'D. PER SPECIFICATION. 20" DEEP FLUSH TILE HEARTH.
- 5 4" MASONRY VENEER AT INTERIOR WALL. MASONRY TO MATCH EXTERIOR, OR PER INTERIOR DESIGNER/OWNER SELECTION.
- 6 SLOPE SLAB AS REQ'D. TO DRAIN WATER. BUILDER TO ACCOUNT FOR 1/2" (MIN.) DROP FROM FF. TO EXTERIOR FINISHED SURFACE.
- 7 FREE-STANDING TUB PER OWNER SELECTION. INSTALL PER MANUF. SPECS. PLUMBER TO COORDINATE DRAIN & WATER SUPPLY W/ TUB MANUF.(MODEL).
- 8 CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO CENTER DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER.
- 9 TEMP. GLASS ENCLOSURE ON 36" HT. LOW WALL. TILE CAP ON WALL. 28" TEMP. GLASS DOOR.
- 10 CLG. SLOPES FROM 10'-0" FL. HT. TO 11'-0" WITH ROOF RAFTERS
- 11 48" RANGETOP. PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ABV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 12 F.P. FLUE FROM BELOW.
- 13 10"x10" INTERIOR WOOD COL. W/ KNEE-BRACE PER DETAIL 11 / D-1.
- 14 10"x12" WOOD HEADER BEAM PER BLDG. SPECS.
- 15 10"x10" WOOD COLUMN PER EXT. ELEV. REFER TO DETAIL 6-41 / D-1.
- 16 CLG. SLOPES UP TO 10'-0" WITH ROOF RAFTERS. REF. TO ROOF PLAN FOR FITCH.
- 17 10"x12" STRUCTURAL BEAM PER ENGINEER'S SPECS. WIDTH TO MATCH COLUMN BELOW PER EXT. ELEV.
- 18 FROV. DRAIN AT ICE MAKER.
- 19 BBQ GRILL, FROV. GAS, & ELEC. AS REQ'D. PER MANUF. SPECS.
- 20 20"x20" DROPPED SLAB UNDER WASHER. SLOPE TILE TO DRAIN.
- 21 PROVIDE VENTILATION TO EXHAUST HEAT FROM HOME RUN EQUIPMENT.
- 22 CUSTOM CABINET. VERIFY DIMENSIONS W/ OWNER.
- 23 8"x8" DECORATIVE WOOD BEAMS PER BLDG. SPECS.
- 24 RECESSED NICHE FOR WALL MOUNTED T.V.
- 25 FULL OUT IRONING BD. IN CAB. VERIFY HT. W/ OWNER.
- 26 6"x8" DECORATIVE WOOD BEAMS PER BLDG. SPECS.
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- 30 12" STEP UP & CLG.
- 31 EXPOSED RAFTERS W/ WOOD CLG. PER SPECS.
- 32 CONCEALED STRUCTURAL STEEL BEAM TO SUPPORT MASONRY ABV. REFER TO ENGINEER SPECS.
- 33 10"x4" INTERIOR DECO. WOOD COL. W/ UD. HEADER ABOVE PER PLANS.
- 34 POT FILLER FAUCET PER BLDG. SPECS. VERIFY FIXTURE HT. W/ OWNER.
- 35 INSECT SCREEN PER BLDG. SPECS. PROVIDE BLOCKING AS REQ'D. AT CLG. COLUMN BASES AND BEAMS TO PREVENT INSECT PENETRATION.
- 36 SOUND INSULATE WALL. DOUBLE SHEET ROCK BOTH SIDES OF WALL.
- 37 WATER HEATERS ON 18" HT. RAISED PLATFORM. PROV. FOR PLUMB, GAS, ELEC. WATER, HARDWARE, AND FAN & DRAIN LINES AS REQ'D. ALL PER CODE AND MANUF. SPECS. SIZE OF WH. PER BLDG. SPECS.
- 38 5026 BARN DOOR (VERIFY HT. W/ BLDG.) HARDWARE & RAIL PER BLDG. SPECS.
- 39 2"x6" METAL BRACKET & METAL BASE TO SUPPORT 4"x12" WOOD BEAM PER DETAIL 10 / D-1.
- 40 CLG. SLOPES FROM 9'-11" FL. HT. TO 10'-0" WITH ROOF RAFTERS.
- 41 30"x30" ATTIC SCUTTLE.
- 42 3020 SCREEN DOOR PER BLDG. SPECS. BLOCK OUT FOR FRAME AS REQ'D.
- 43 SHIPLAP SIDING PER OWNER'S SELECTION. REF. TO INT. ELEV.

| SQUARE FOOTAGE CALCS. |         |
|-----------------------|---------|
| HEATED AREA           | SQ. FT. |
| LOWER FLOOR           | 4,565   |
| TOTAL HEATED          | 4,565   |
| NON-HEATED SF         |         |
| GARAGE(S)             | 682     |
| OUTDOOR LIVING        | 1,073   |
| SCREENED PORCH        | 269     |
| COVD. FRONT PORCH     | 349     |
| SIDE PORCH            | 104     |
| STORAGE               | 116     |
| LOWER MASONRY LUG     | 164     |
| TOTAL NON-HEATED      | 2,151   |
| TOTAL HTD. & NON-HTD. | 7,322   |
| TOTAL IMPERVIOUS      | 7,322   |



14 NOV. 2017

REVISIONS:

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5910 COURTYARD DRIVE # 350  
AUSTIN, TEXAS 78731  
PH: (512) 552-8664  
WWW.GESCHKEGROUP.COM

CLARK  
PROJ. NO.: 17013  
DATE: NOV. 14, 2017

A-2  
2 OF 14

SPECIAL CONSTRUCTION NOTES

- 1 (PRICE OPTION) TANKLESS WATER HEATER, PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS. VERIFY LOCATIONS & # OF UNITS WITH BUILDER PRIOR TO INSTALLATION.
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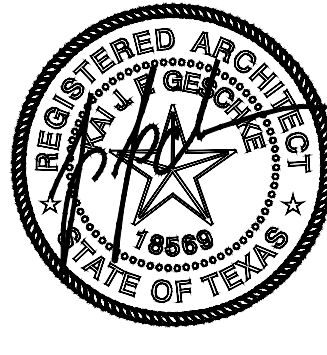
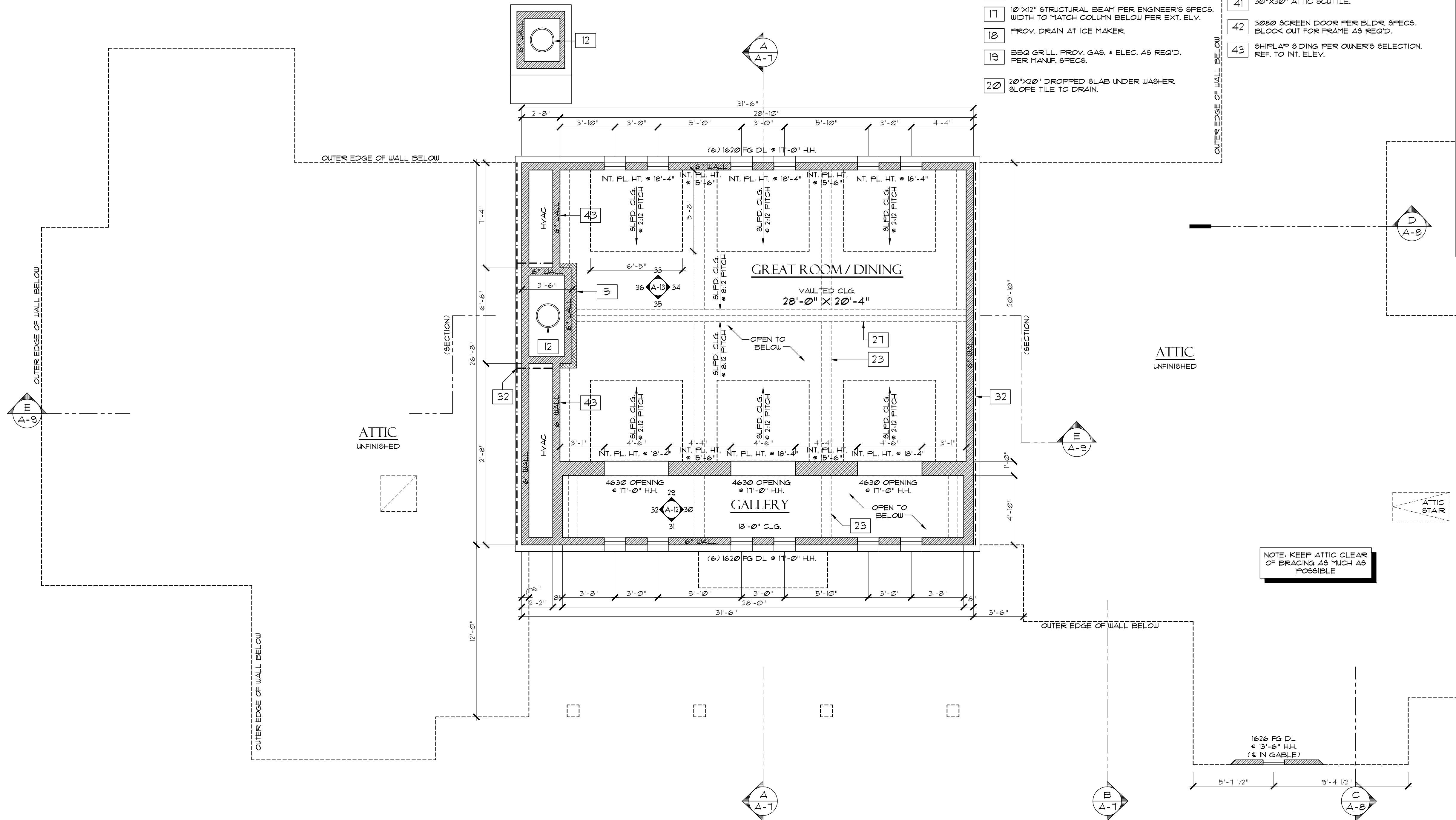
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- 23 8"X8" DECORATIVE WOOD BEAMS PER BLDG. SPECS.
- 24 RECESSED NICHE FOR WALL MOUNTED T.V.
- 25 FULL OUT IRONING BD. IN CAB. VERIFY HT. W/ OWNER.
- 26 6"X8" DECORATIVE WOOD BEAMS PER BLDG. SPECS.
- 27 8"X12" DECORATIVE WOOD BEAMS PER BLDG. SPECS. VERIFY SIZE W/ ENG.
- 28 DRIP-DRY ROD & SHELF PER BLDG. SPECS.
- 29 48" METAL F.P. INSTALL PER MANUF. SPECS. PROV. GAS, &/OR ELEC./ VENT AS REQ'D. PER SPECIFICATION. 20" DEEP RAISED MASONRY HEARTH.
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- 43 SHIPLAP SIDING PER OWNER'S SELECTION. REF. TO INT. ELEV.

GENERAL PROJECT NOTES:

- 1) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND SITE CONDITIONS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES, CONFLICTS OR NONCOMPLIANCE IN THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- 2) THE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES, LAWS, PERMITS AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- 3) DIMENSIONS INDICATED ON THE CONSTRUCTION DOCUMENTS ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE SHEETROCK, FURRING OR ANY OTHER WALL FINISHES. DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. ANY IMPORTANT DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 4) THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY THE CONTRACTOR OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE CONTRACTOR WILL ACCEPT FULL LIABILITY FOR ANY/ALL ERRORS.
- 5) CONTRACTOR SHALL VERIFY ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES ARE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION AT THE SITE. CONTRACTOR SHALL VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- 6) THE CONTRACTOR SHALL PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY LOCATIONS WITH OWNER OR ARCHITECT PRIOR TO INSTALLATION.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, APPROVALS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE RELATED TO THIS WORK. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY THE CONSTRUCTION PRIOR TO COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- 8) CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND LABOR FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY.
- 9) CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE ALL DEBRIS AS A RESULT OF THEIR WORK. DEBRIS TO BE REMOVED TO DUMPSTER OR APPROVED DUMP SITES ONLY.
- 10) THESE CONSTRUCTION DOCUMENTS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- 11) THESE CONSTRUCTION DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- 12) ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
- 13) THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT IS EXECUTED OR NOT, THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- 14) ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. PHONE: (512) 458-1363.

GENERAL PLAN NOTES:

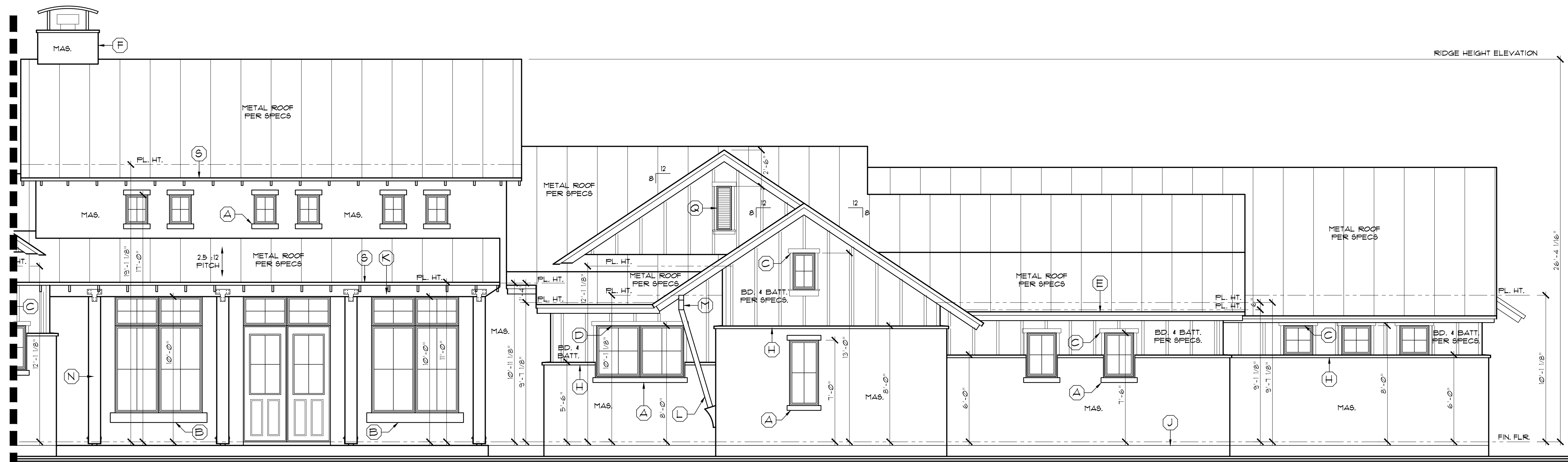
- 1) USE 2X6 OR DBL. 2X4 @ 12" O.C. FRAMING AT ALL WALLS OVER 10'-0" IN HEIGHT.
- 2) 8'-0" DOORS AND CASSED OPENINGS @ 10'-0" OR HIGHER PLATE HEIGHTS/(UNO)  
6'-8" DOORS AND CASSED OPENINGS @ 9'-0" FL. HT/(UNO)
- 3) ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- 4) ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. ALL WINDOWS ABOVE BATHUBS TO BE TEMPERED. ANY WINDOW AT STAIRWAY HAVING A SILL HT. BELOW 36" TO BE TEMPERED. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 5) WINDOW MANUFACTURER & THE CONTRACTOR TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- 6) PROVIDE FOR DOOR FROM MAIN LIVING AREA TO GARAGE AS REQ'D PER CODE.
- 7) HINGED SHOWER DOORS SHALL SWING OUTWARD. ANY GLAZING IN SHOWER OR BATHUB DOORS, PANELS OR OTHER ENCLOSURES SHALL BE TEMPERED.
- 8) WEATHERSEAL ALL EXTERIOR DOOR THRESHOLDS, INCLUDING DOOR TO GARAGE. (IF APPLICABLE) WEATHER-STRIP ALL ATTIC ACCESS DOOR(S) OR ACCESS PANELS INTO VOIDS.
- 9) HANDRAILS SHALL BE PROVIDED FOR ALL STAIRS WITH 2 OR MORE RISERS. STAIR RAILINGS SHALL BE 36" HT. ABOVE THE STAIR NOSING (NOT LESS THAN 34" NOR ABOVE 38" ABV. STAIR NOSING OF TREAD). THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AS NECESSARY.
- 10) GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL FALTERNS SUCH THAT NO OBJECT 4" OR LARGER MAY PASS THROUGH. PROVIDE BLOCKING FOR GUARDRAIL MOUNTING AT STAIRS AS NECESSARY.
- 11) FIREPLACE CHIMNEYS SHALL EXTEND 24" (MIN.) ABOVE THE HIGHEST POINT OF THE ROOF WITHIN A 10'-0" RADIUS OR UNLESS NOTED OTHERWISE.
- 12) CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- 13) PROVIDE 1 SF. NET FREE AREA OF ATTIC VENTILATION PER 150 SF. OF TOTAL COVERED ROOF AREA AS PER CODE.
- 14) THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- 15) STANDARD PANTRY SHELVING TO BE AS FOLLOWS:  
LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 14".  
CLEAR REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- 16) SQUARE FOOTAGE CALCULATIONS GIVEN ARE BASED ON THESE CONSTRUCTION DRAWINGS NOT THE ACTUAL FINISHED BUILDING(S). ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONS OR CHANGES TO SQUARE FOOTAGES THAT ARE HANDLED IN THE FIELD DURING CONSTRUCTION.
- 17) ALL PLUMBING, AFFLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FURTEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 18) THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- 19) WATER HEATER TO BE INSTALLED ON 18" PLATFORM OR APPROVED PREFAB. STAND AS STIPULATED PER CODE. PROVIDE FOR ALL PLUMB. & HARDWARE, PAN, DRAIN LINES AND VENTING AS REQ'D. TO ADEQUATELY OPERATE WH. SIZE & QUANTITY OF WH. PER SPECS.
- 20) THE CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BRACING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, CEILING FANS, EQUIPMENT, CLOSET RODS, MEDICINE CABINETS AND ANY OTHER ITEMS AS MAY BE REQUIRED.
- 21) UNO, HOSE BIBS HT. SHALL NOT EXCEED 24" A.F.G. VERIFY EXACT LOCATION WITH BUILDER / OWNER.
- 22) UNO, DRYER VENTS TO BE VENTED UP THROUGH WALL AND ROOF.
- 23) PROVIDE ANY/ALL ELECTRICAL REQUIREMENTS TO GAS LOG SET AT GAS FIREPLACES AS REQUIRED PER MANUF. SPECS.



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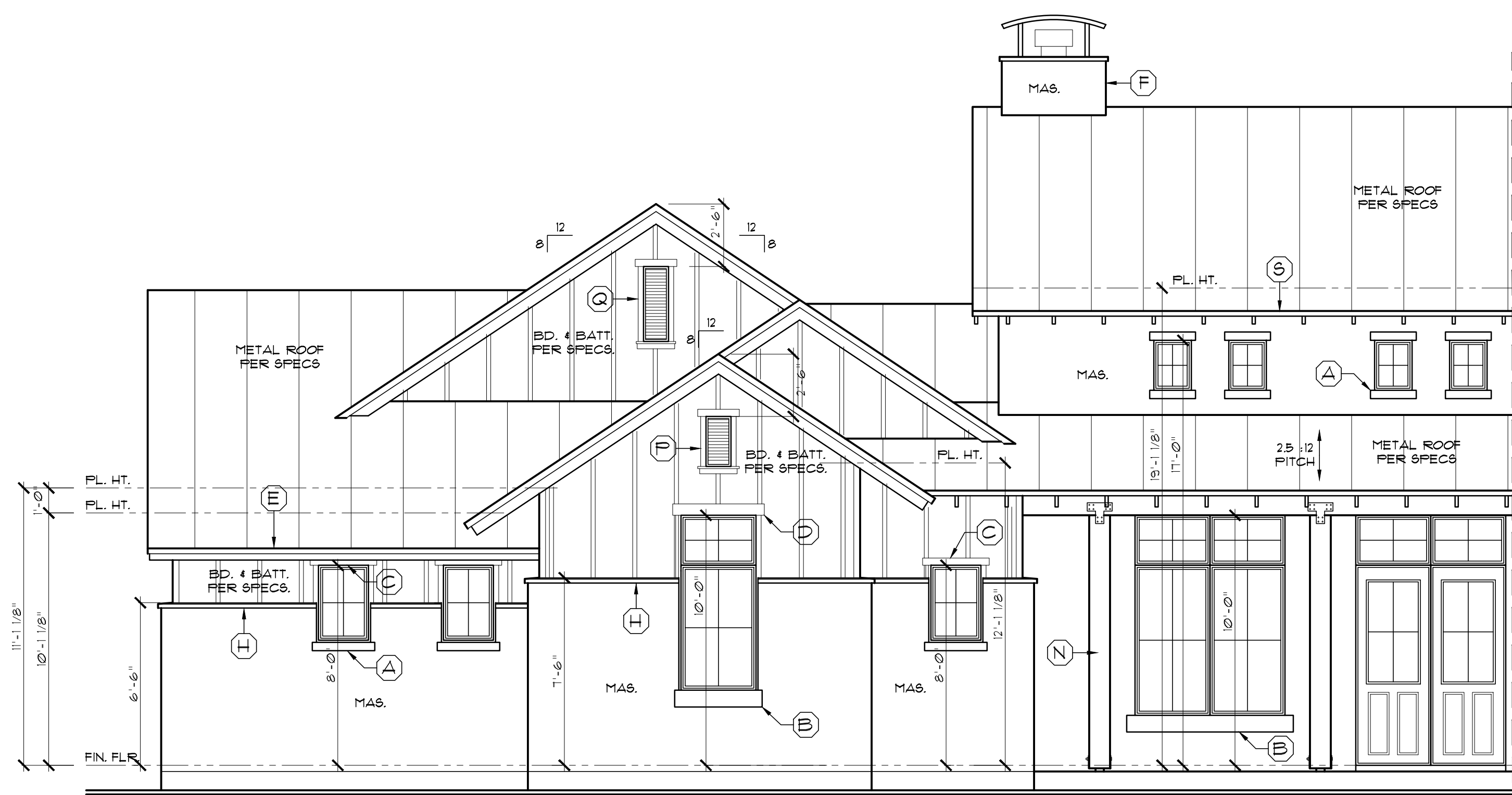
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FRONT ELEVATION (PARTIAL)

SCALE 1/4" = 1'-0"



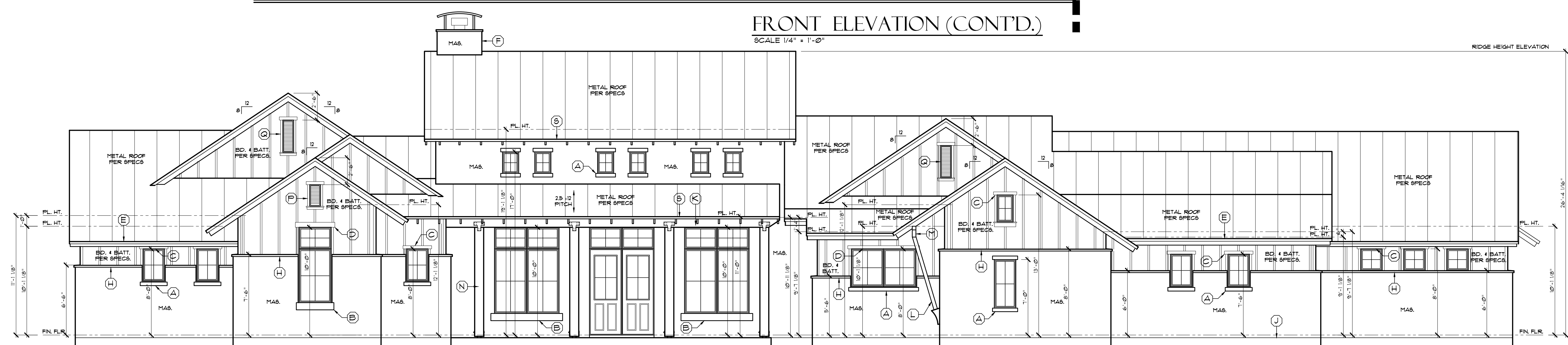
FRONT ELEVATION (CONT'D.)

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

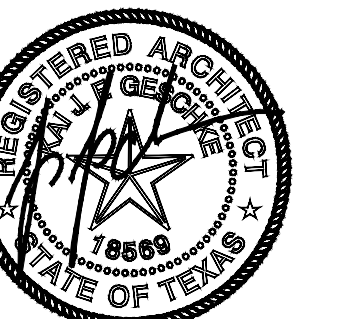
- (A) 4" MAS. TRIM/SILL.
- (B) 8" MAS. TRIM/SILL.
- (C) 3 1/2" HORIZONTAL WOOD TRIM W/ 2 1/2" VERTICAL TRIM PER DETAIL 5 / D-1. (TYP.)
- (D) 5 1/2" HORIZONTAL WOOD TRIM & 3 1/2" SILL W/ 2 1/2" VERTICAL TRIM PER DETAIL 4 / D-1. (TYP.)
- (E) FASCIA & OVERHANGS PER DETAIL AND/OR BLDG. SPECS. (TYP.)
- (F) MASONRY CHIMNEY WITH MTL. SPARK ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS & CODE. CRICKET AND FLASHING AS REQ'D (MTL. STUDS ONLY ABV. SPARK ARRESTOR).
- (G) 36" HT. RAILING PER SPECS & CODE (TYP.)
- (H) 2 1/2" MASONRY WATERTABLE. REFER TO DETAIL 1 / D-1. (TYP.)
- (J) MASONRY LUG.
- (K) STRUCTURAL BEAM PER ENGINEER'S SPECS.
- (L) 1/4"x6" METAL BRACKET & METAL BASE PER DETAIL 10 / D-1.
- (M) 4X WOOD BEAM PER ENGINEER'S SPECS.
- (N) 10" SQ. WOOD COLUMN W/ DECO. MTL. BASE PER DETAIL 6 / D-1 & 7 / D-1.
- (P) 12"x24" DECO. WOOD VENT CENTERED ON GABLE W/ WOOD TRIM/SILL.
- (Q) 12"x36" DECO. WOOD VENT CENTERED ON GABLE W/ WOOD TRIM/SILL.
- (R) INSECT SCREEN PER BLDG. SPECS. PROVIDE BLOCKING AT BEAMS, COLUMNS AND WALLS AS REQ'D TO PREVENT INSECT PENETRATION.
- (S) EXPOSED RAFTER OVERHANGS PER DETAIL 12/D-2.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS).
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD. SLOPE TO DRAIN WATER ADEQUATELY.



FRONT ELEVATION - SOUTH (OVERALL)

SCALE: 3/16" = 1'-0"



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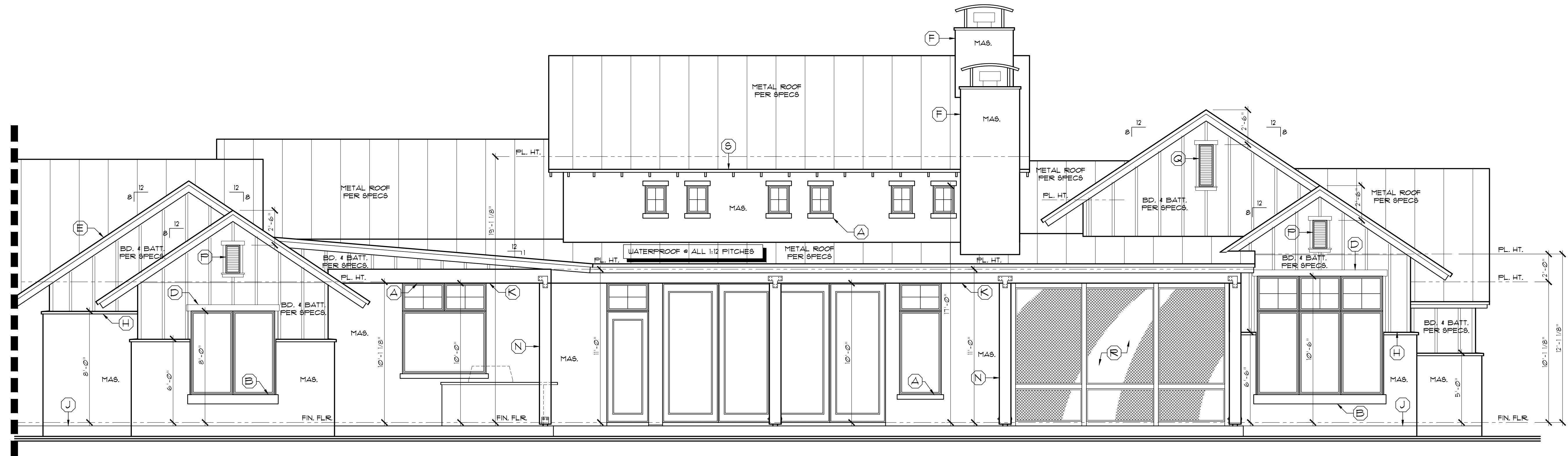
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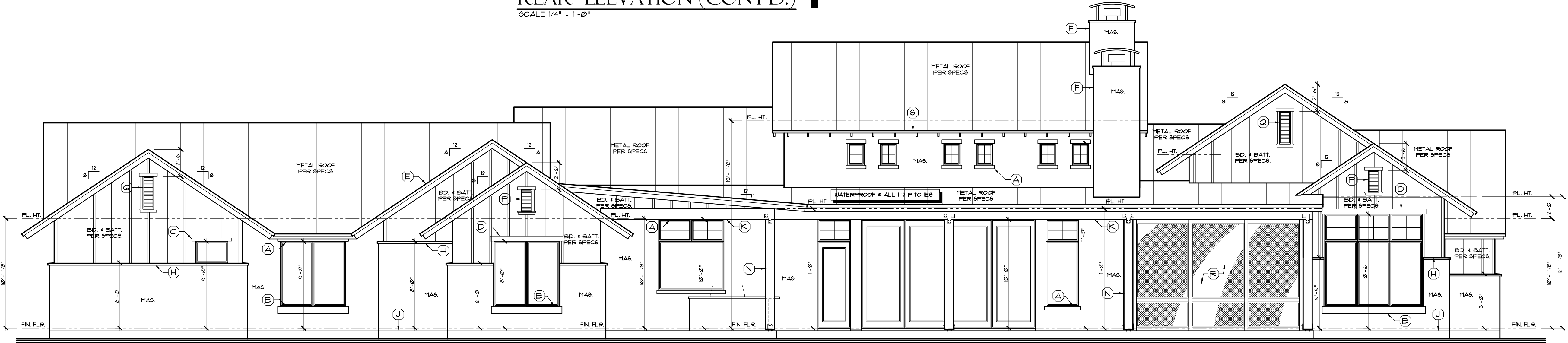
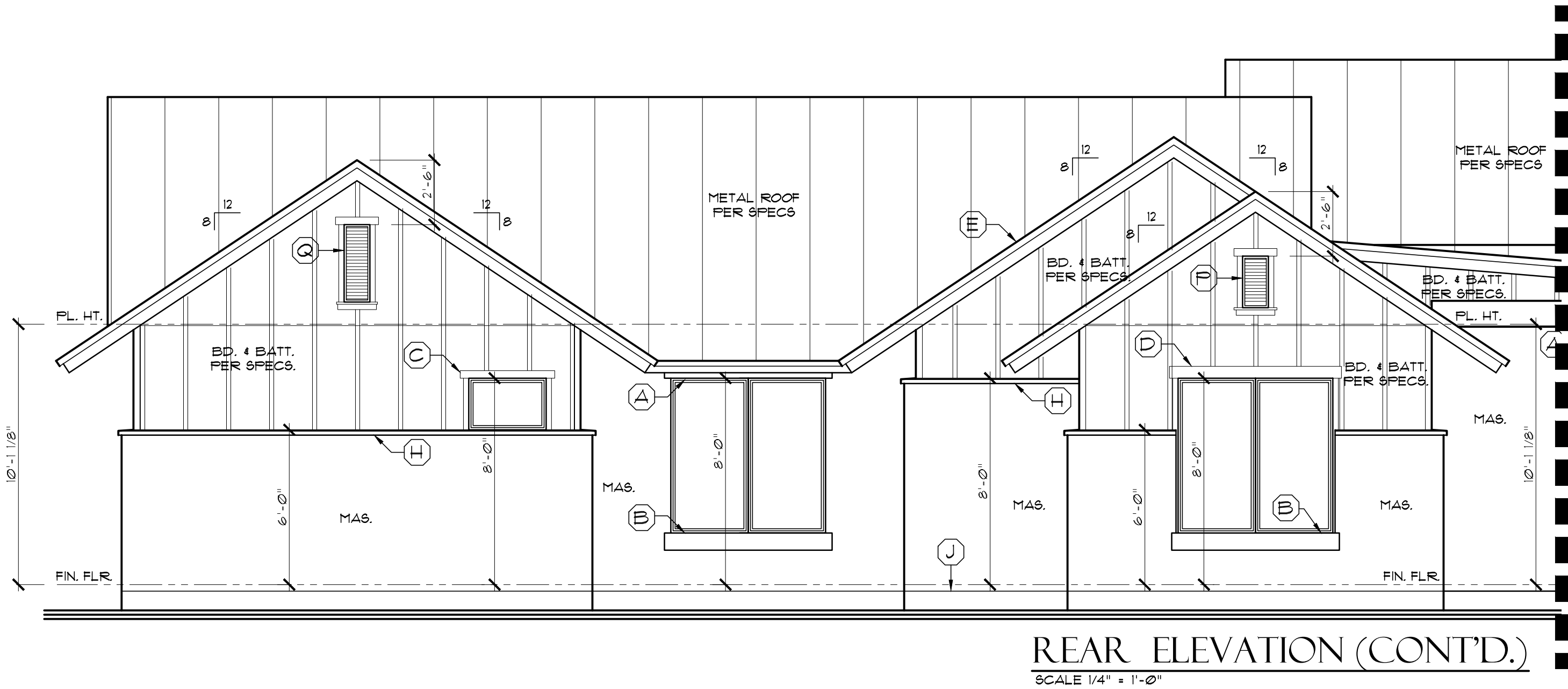


REAR ELEVATION (PARTIAL)  
SCALE 1/4" = 1'-0"

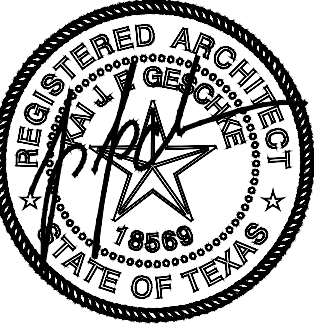
EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
- (B) 8" MAS. TRIM/SILL.
- (C) 3 1/2" HORIZONTAL WOOD TRIM W/  
2 1/2" VERTICAL TRIM PER DETAIL 5 / D-1 (TYP.)
- (D) 5 1/2" HORIZONTAL WOOD TRIM & 3 1/2" SILL W/  
2 1/2" VERTICAL TRIM PER DETAIL 4 / D-1 (TYP.)
- (E) FASCIA & OVERHANG PER DETAIL AND/OR  
BLDR. SPECS (TYP)
- (F) MASONRY CHIMNEY WITH MTL. SPARK ARRESTOR.  
CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF  
WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS &  
CODE. CRICKS AND FLASHING AS REQ'D (MTL.  
STUDS ONLY ABV. SPARK ARRESTOR).
- (G) 36" HT. RAILING PER SPECS & CODE (TYP.)
- (H) 2 1/2" MASONRY WATERTABLE. REFER TO  
DETAIL 1 / D-1 (TYP.)
- (J) MASONRY LUG.
- (K) STRUCTURAL BEAM PER ENGINEER'S  
SPECS.
- (L) 2"x6" METAL BRACKET & METAL BASE  
PER DETAIL 10 / D-1.
- (M) 4X WOOD BEAM PER ENGINEER'S SPECS.
- (N) 10" SQ. WOOD COLUMN W/ DECO. MTL. BASE  
PER DETAIL 6 / D-1 & 7 / D-1.
- (P) 12"x24" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (Q) 12"x36" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (R) INSECT SCREEN PER BLDR. SPECS. PROVIDE  
BLOCKING AT BEAMS, COLUMNS AND WALLS  
AS REQ'D. TO PREVENT INSECT PENETRATION.
- (S) EXPOSED RAFTER OVERHANG PER DETAIL  
12/D-2.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS  
MAY VARY FROM ACTUAL FINISHED GRADE.  
BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON  
SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR  
PER APPLICABLE DEED RESTRICTIONS  
(WHICHEVER IS LESS).
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT  
REQUIREMENTS PER CODE. BUILDER TO VERIFY  
ADDITIONAL HEIGHT REQUIREMENTS BASED ON  
SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO  
PROJECT 1 1/2" FROM FACE OF FIELD. SLOPE TO  
DRAIN WATER ADEQUATELY.



REAR ELEVATION - NORTH (OVERALL)  
SCALE: 3/16" = 1'-0"



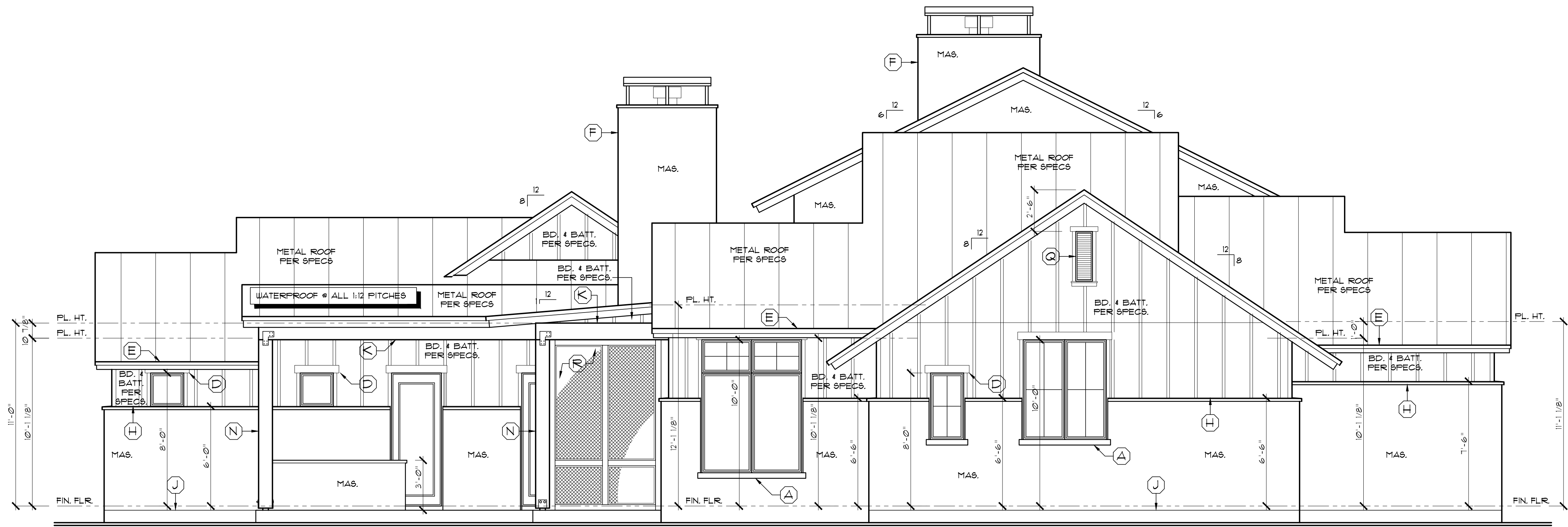
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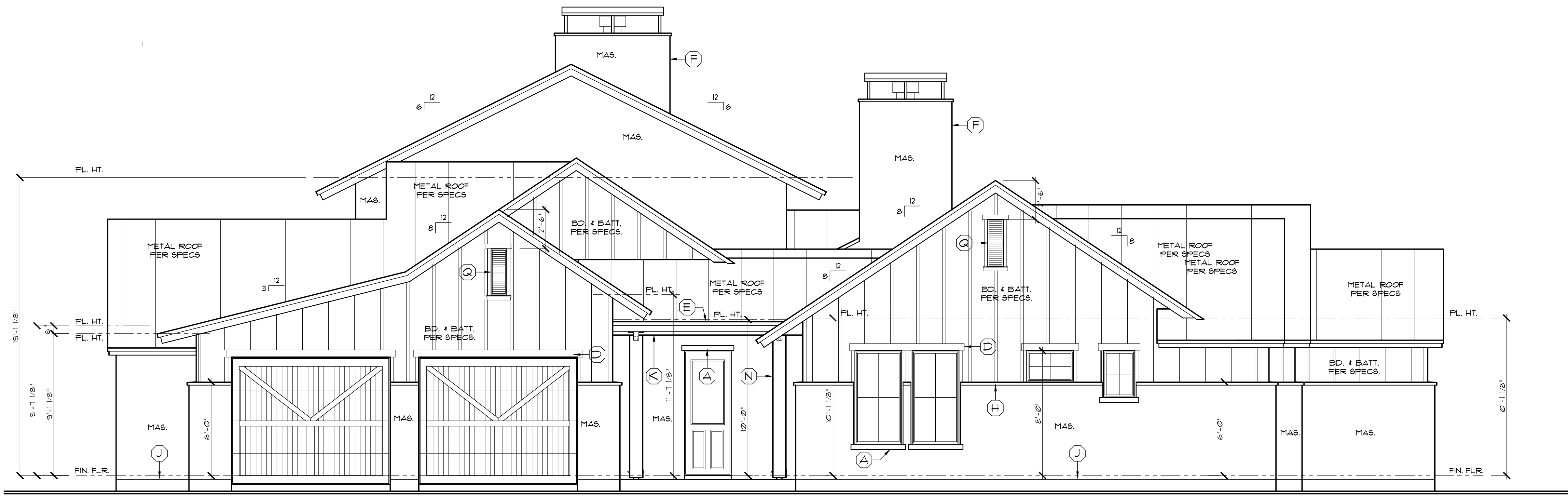
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LEFT ELEVATION - WEST  
SCALE: 1/4" = 1'-0"

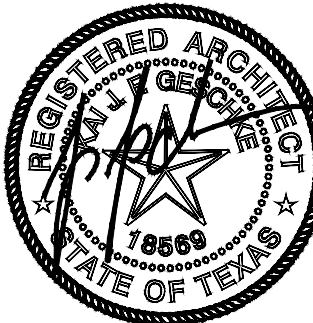


RIGHT ELEVATION - EAST  
SCALE: 1/4" = 1'-0"

# EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
- (B) 8" MAS. TRIM/SILL.
- (C) 3 1/2" HORIZONTAL WOOD TRIM W/  
2 1/2" VERTICAL TRIM PER DETAIL 5 / D-1. (TYP.)
- (D) 5 1/2" HORIZONTAL WOOD TRIM & 3 1/2" SILL W/  
2 1/2" VERTICAL TRIM PER DETAIL 4 / D-1. (TYP.)
- (E) FASCIA & OVERHANG PER DETAIL AND/OR  
BLDR. SPECS (TYP.)
- (F) MASONRY CHIMNEY WITH MTL. SPARK ARRESTOR.  
CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF  
WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS &  
CODE. CRICKET AND FLASHING AS REQ'D (MTL  
STUDS ONLY ABV. SPARK ARRESTOR).
- (G) 36" HT. RAILING PER SPECS & CODE (TYP.).
- (H) 2 1/2" MASONRY WATERTABLE. REFER TO  
DETAIL 1 / D-1. (TYP.)
- (J) MASONRY LUG.
- (K) STRUCTURAL BEAM PER ENGINEER'S  
SPECS.
- (L) 2"x6" METAL BRACKET & METAL BASE  
PER DETAIL 10 / D-1.
- (M) 4X WOOD BEAM PER ENGINEER'S SPECS.
- (N) 10" SQ. WOOD COLUMN W/ DECO. MTL. BASE  
PER DETAIL 6 / D-1 & 1 / D-1.
- (P) 12"x24" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (Q) 12"x36" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (R) INSECT SCREEN PER BLDR. SPECS. PROVIDE  
BLOCKING AT BEAMS, COLUMNS & WALLS  
AS REQ'D. TO PREVENT INSECT PENETRATION.
- (S) EXPOSED RAFTER OVERHANG PER DETAIL  
12/D-2.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS  
MAY VARY FROM ACTUAL FINISHED GRADE.  
BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON  
SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR  
PER APPLICABLE DEED RESTRICTIONS  
(WHICHEVER IS LESS).
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT.  
REQUIREMENTS PER CODE. BUILDER TO VERIFY  
ADDITIONAL HEIGHT REQUIREMENTS BASED ON  
SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO  
PROJECT 1 1/2" FROM FACE OF FIELD. SLOPE TO  
DRAIN WATER ADEQUATELY.



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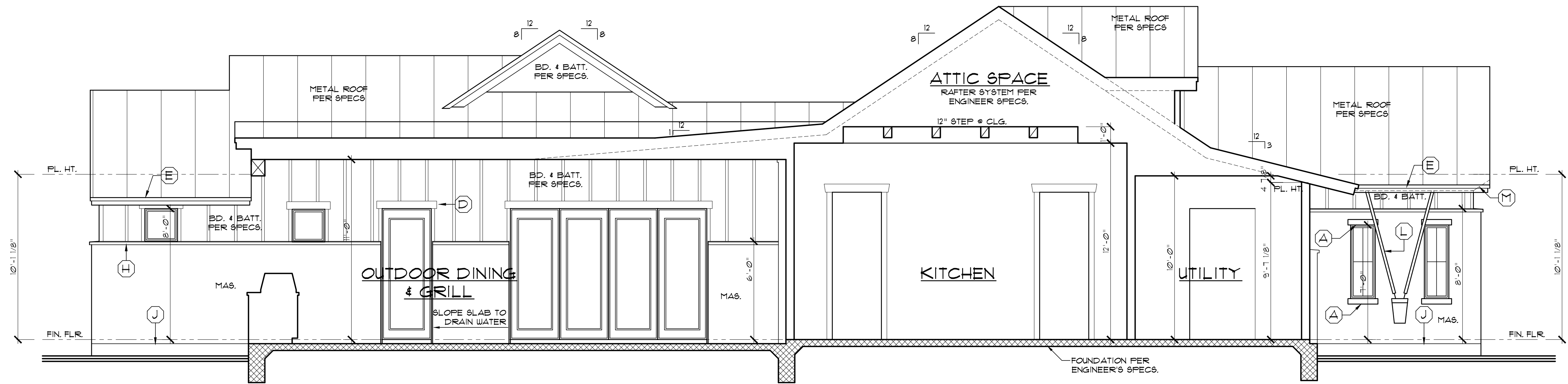
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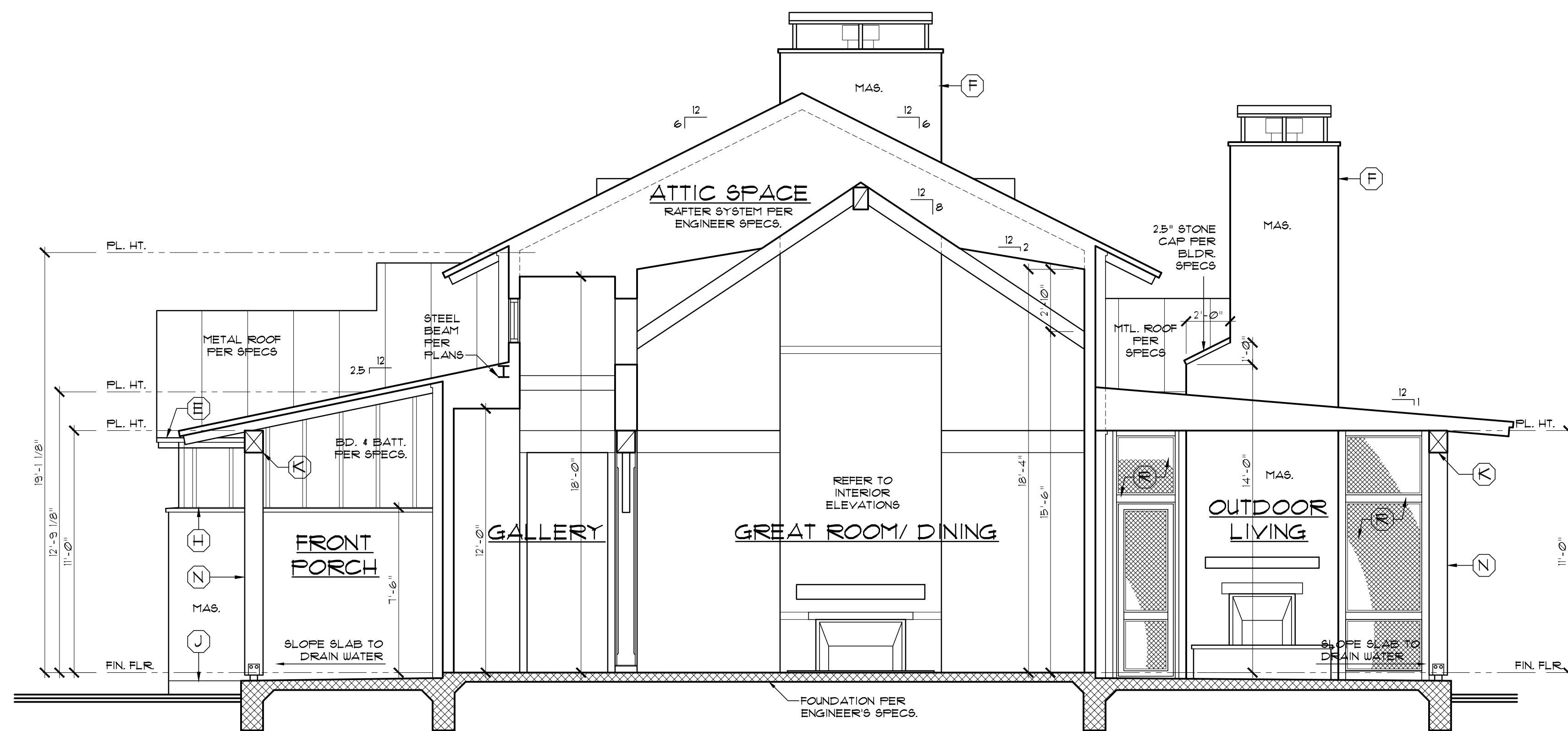
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SECTION B-B  
SCALE: 1/4" = 1'-0"



SECTION A-A  
SCALE: 1/4" = 1'-0"

#### EXTERIOR ELEVATION NOTES

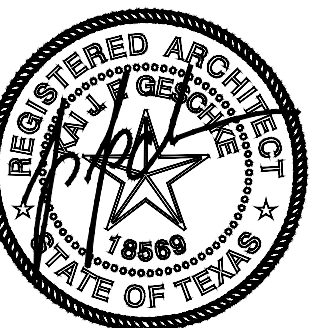
- (A) 4" MAS. TRIM/SILL.
- (B) 8" MAS. TRIM/SILL.
- (C) 3 1/2" HORIZONTAL WOOD TRIM W/  
2 1/2" VERTICAL TRIM PER DETAIL 5 / D-1. (TYP.)
- (D) 5 1/2" HORIZONTAL WOOD TRIM 4 3 1/2" SILL W/  
2 1/2" VERTICAL TRIM PER DETAIL 4 / D-1. (TYP.)
- (E) FASCIA 4 OVERHANG PER DETAIL AND/OR  
BLDR. SPECS. (TYP.)
- (F) MASONRY CHIMNEY WITH MTL. SPARK ARRESTOR.  
CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF  
WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS 4  
CODE. CRICKET AND FLASHING AS REQ'D (MTL  
STUDS ONLY ABV. SPARK ARRESTOR).
- (G) 36" HT. RAILING PER SPECS 4 CODE (TYP.).
- (H) 2 1/2" MASONRY WATERTABLE. REFER TO  
DETAIL 1 / D-1. (TYP.)
- (J) MASONRY LUG.
- (K) STRUCTURAL BEAM PER ENGINEER'S  
SPECS.
- (L) 2"x6" METAL BRACKET 4 METAL BASE  
PER DETAIL 10 / D-1.
- (M) 4X WOOD BEAM PER ENGINEER'S SPECS.
- (N) 10" SQ. WOOD COLUMN W/ DECO. MTL. BASE  
PER DETAIL 6 / D-1 4 1 / D-1.
- (P) 12"x4" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (Q) 12"x36" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (R) INSECT SCREEN PER BLDR. SPECS. PROVIDE  
BLOCKING AT BEAMS, COLUMNS AND WALLS  
AS REQ'D. TO PREVENT INSECT PENETRATION.  
EXP. RAS. RAFTER OVERHANG PER DETAIL  
12/D-2.
- (S)

1) GROUND GRADE LINES SHOWN ON ELEVATIONS  
MAY VARY FROM ACTUAL FINISHED GRADE.  
BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON  
SITE.

2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR  
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(WHICHEVER IS LESS).

3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT  
REQUIREMENTS PER CODE. BUILDER TO VERIFY  
ADDITIONAL HEIGHT REQUIREMENTS BASED ON  
SITE AND WIND CONDITIONS.

4) ALL MASONRY OR STUCCO TRIM/BANDING TO  
PROJECT 1 1/2" FROM FACE OF FIELD. SLOPE TO  
DRAIN WATER ADEQUATELY.



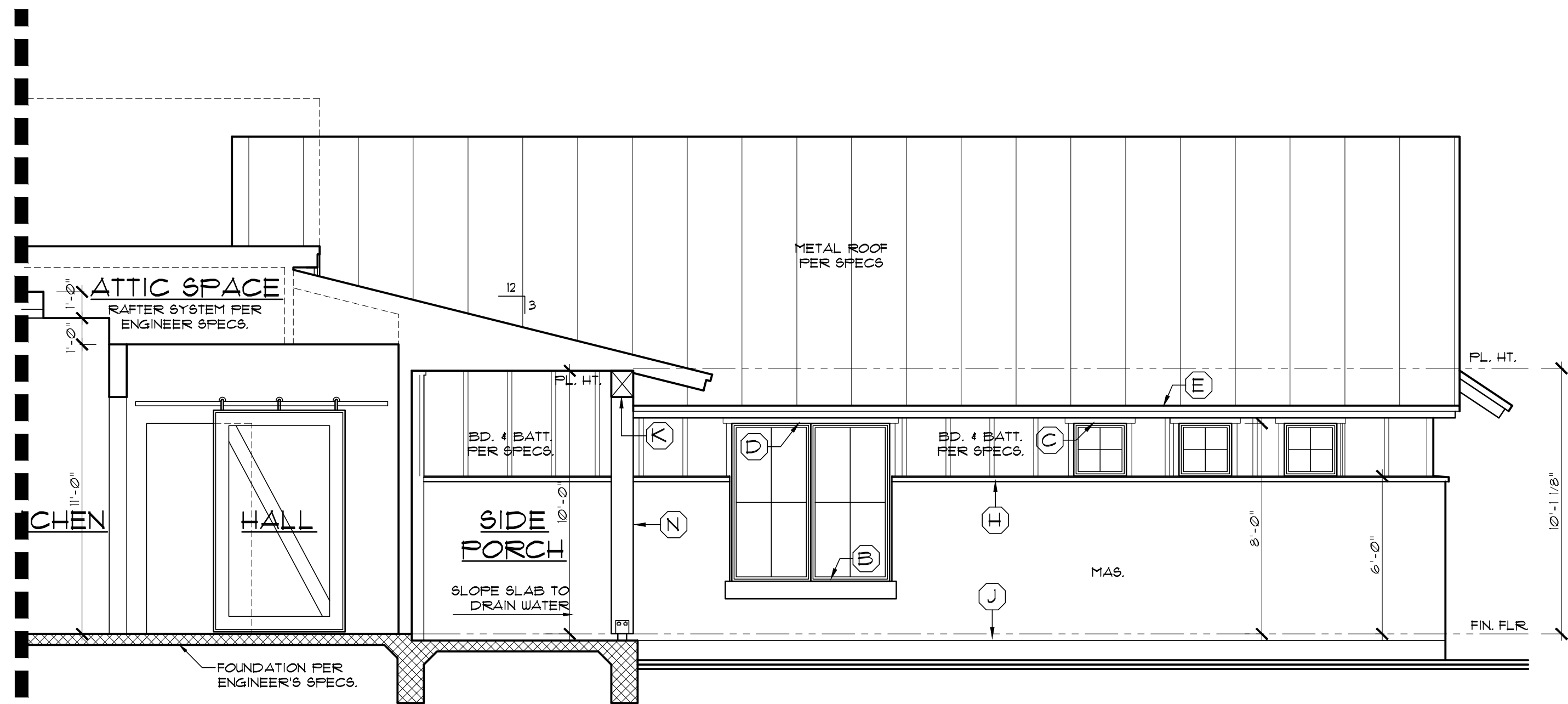
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**SECTION D**  
SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES**

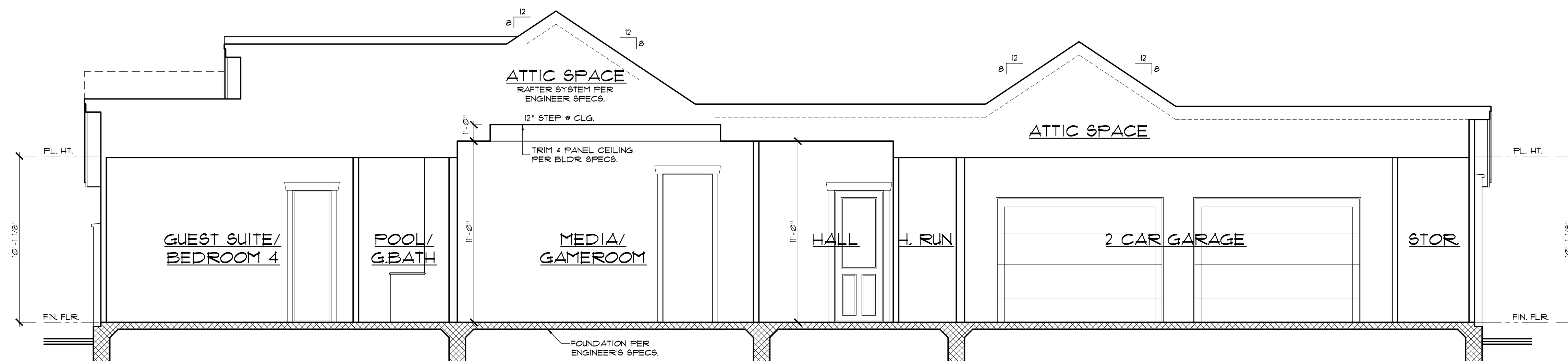
- (A) 4" MAS. TRIM/SILL.
- (B) 8" MAS. TRIM/SILL.
- (C) 3 1/2" HORIZONTAL WOOD TRIM W/  
2 1/2" VERTICAL TRIM PER DETAIL 5 / D-1. (TYP.)
- (D) 5 1/2" HORIZONTAL WOOD TRIM & 3 1/2" SILL W/  
2 1/2" VERTICAL TRIM PER DETAIL 4 / D-1. (TYP.)
- (E) FASCIA & OVERHANG PER DETAIL AND/OR  
BLDR. SPECS (TYP)
- (F) MASONRY CHIMNEY WITH MTL. SPARK ARRESTOR.  
CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF  
WITHIN 10'-0". MTL. CHIMNEY CAP PER SPECS &  
CODE. CRICKET AND FLASHING AS REQ'D (MTL  
STUDS ONLY ABV. SPARK ARRESTOR).
- (G) 36" HT. RAILING PER SPECS & CODE (TYP.).
- (H) 2 1/2" MASONRY WATERTABLE. REFER TO  
DETAIL 1 / D-1. (TYP.)
- (J) MASONRY LUG.
- (K) STRUCTURAL BEAM PER ENGINEER'S  
SPECS.
- (L) 2"x6" METAL BRACKET & METAL BASE  
PER DETAIL 10 / D-1.
- (M) 4X WOOD BEAM PER ENGINEER'S SPECS.
- (N) 10" SQ. WOOD COLUMN W/ DECO. MTL. BASE  
PER DETAIL 6 / D-1 & 1 / D-1.
- (P) 12"x24" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (Q) 12"x36" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
- (R) INSECT SCREEN PER BLDR. SPECS. PROVIDE  
BLOCKING AT BEAMS, COLUMNS AND WALLS  
AS REQ'D. TO PREVENT INSECT PENETRATION.
- (S) EXPOSED RAFTER OVERHANG PER DETAIL  
12/D-2.

1) GROUND GRADE LINES SHOWN ON ELEVATIONS  
MAY VARY FROM ACTUAL FINISHED GRADE.  
BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON  
SITE.

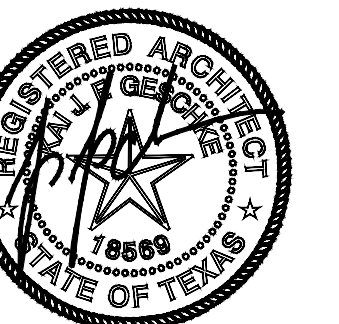
2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR  
PER APPLICABLE DEED RESTRICTIONS  
(WHICHEVER IS LESS).

3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT  
REQUIREMENTS PER CODE. BUILDER TO VERIFY  
ADDITIONAL HEIGHT REQUIREMENTS BASED ON  
SITE AND WIND CONDITIONS.

4) ALL MASONRY OR STUCCO TRIM/BANDING TO  
PROJECT 1 1/2" FROM FACE OF FIELD. SLOPE TO  
DRAIN WATER ADEQUATELY.



**SECTION C-C**  
SCALE: 1/4" = 1'-0"



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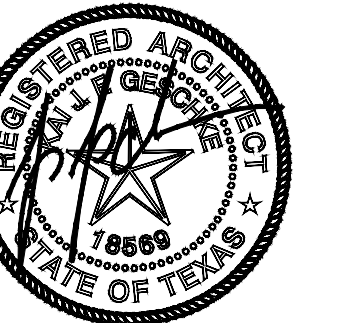
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SECTION E-E  
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

- (A) 4" MAS. TRIM/SILL.
  - (B) 8" MAS. TRIM/SILL.
  - (C) 3 1/2" HORIZONTAL WOOD TRIM W/  
2 1/2" VERTICAL TRIM PER DETAIL 5 / D-1. (TYP.)
  - (D) 5 1/2" HORIZONTAL WOOD TRIM & 3 1/2" SILL W/  
2 1/2" VERTICAL TRIM PER DETAIL 4 / D-1. (TYP.)
  - (E) FASCIA & OVERHANG PER DETAIL AND/OR  
BLDR SPECS (TYP.)
  - (F) MASONRY CHIMNEY WITH MTL SPARK ARRESTOR.  
CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF  
WITHIN 10'-0". MTL CHIMNEY CAP PER SPECS &  
CODE. CRICKET AND FLASHING AS REQ'D (MTL  
STUDS ONLY ABV. SPARK ARRESTOR).
  - (G) 36" HT. RAILING PER SPECS & CODE (TYP.)
  - (H) 2 1/2" MASONRY WATERTABLE. REFER TO  
DETAIL 1 / D-1. (TYP.)
  - (J) MASONRY LUG.
  - (K) STRUCTURAL BEAM PER ENGINEER'S  
SPECS.
  - (L) 2"x6" METAL BRACKET & METAL BASE  
PER DETAIL 10 / D-1.
  - (M) 4X WOOD BEAM PER ENGINEER'S SPECS.
  - (N) 10" SQ. WOOD COLUMN W/ DECO. MTL. BASE  
PER DETAIL 6 / D-1 & 7 / D-1.
  - (P) 12"x24" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
  - (Q) 12"x36" DECO. WOOD VENT CENTERED ON  
GABLE W/ WOOD TRIM/SILL.
  - (R) INSECT SCREEN PER BLDR. SPECS. PROVIDE  
BLOCKING AT BEAMS, COLUMNS AND WALLS  
AS REQ'D. TO PREVENT INSECT PENETRATION.
  - (S) EXPOSED RAFTER OVERHANG PER DETAIL  
12/D-2.
- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS  
MAY VARY FROM ACTUAL FINISHED GRADE.  
BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON  
SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR  
PER APPLICABLE DEED RESTRICTIONS  
(WHICHEVER IS LESS).
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT.  
REQUIREMENTS PER CODE. BUILDER TO VERIFY  
ADDITIONAL HEIGHT REQUIREMENTS BASED ON  
SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO  
PROJECT 1 1/2" FROM FACE OF FIELD. SLOPE TO  
DRAIN WATER ADEQUATELY.



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PITCH & OVERHANG

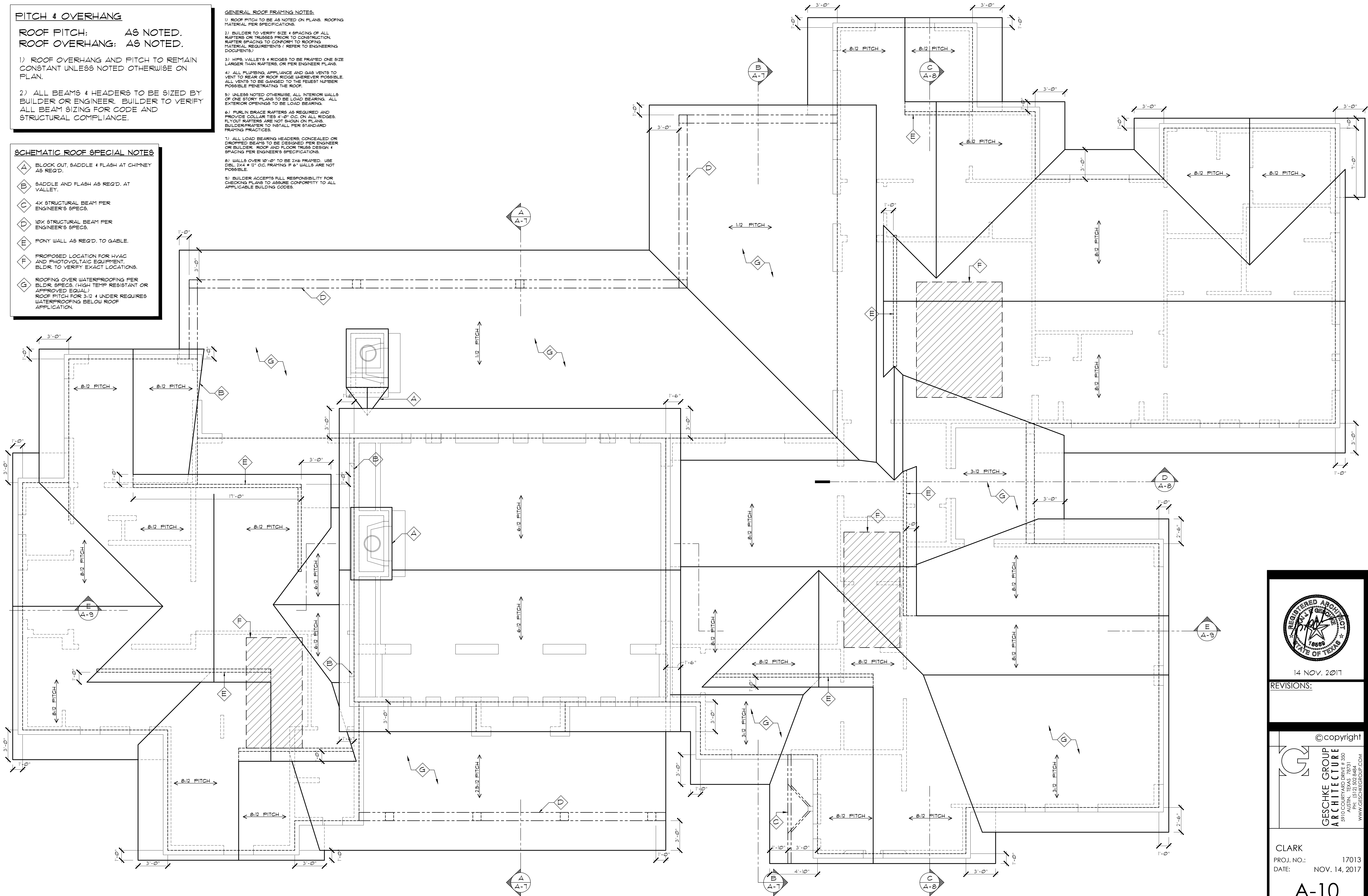
ROOF PITCH: AS NOTED.  
ROOF OVERHANG: AS NOTED.

- 1) ROOF OVERHANG AND PITCH TO REMAIN CONSTANT UNLESS NOTED OTHERWISE ON PLAN.
- 2) ALL BEAMS & HEADERS TO BE SIZED BY BUILDER OR ENGINEER. BUILDER TO VERIFY ALL BEAM SIZING FOR CODE AND STRUCTURAL COMPLIANCE.

SCHEMATIC ROOF SPECIAL NOTES

- A BLOCK OUT, SADDLE & FLASH AT CHIMNEY AS REQ'D.
- B SADDLE AND FLASH AS REQ'D. AT VALLEY.
- C 4X STRUCTURAL BEAM PER ENGINEER'S SPECS.
- D 10X STRUCTURAL BEAM PER ENGINEER'S SPECS.
- E PONY WALL AS REQ'D. TO GABLE.
- F PROPOSED LOCATION FOR HVAC AND PHOTOVOLTAIC EQUIPMENT; BLDR. TO VERIFY EXACT LOCATIONS.
- G ROOFING OVER WATERPROOFING PER BLDR. SPECS. (HIGH TEMP RESISTANT OR APPROVED EQUAL.) ROOF PITCH FOR 3:12 & UNDER REQUIRES WATERPROOFING BELOW ROOF APPLICATION.

- GENERAL ROOF FRAMING NOTES:
- 1) ROOF PITCH TO BE AS NOTED ON PLANS. ROOFING MATERIAL PER SPECIFICATIONS.
- 2) BUILDER TO VERIFY SIZE & SPACING OF ALL RAFTERS OR TRUSSES PRIOR TO CONSTRUCTION. RAFTER SPACING TO CONFORM TO ROOFING MATERIAL REQUIREMENTS (REFER TO ENGINEERING DOCUMENTS).
- 3) HIP & VALLEY'S & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS, OR PER ENGINEER PLANS.
- 4) ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 5) UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- 6) FURNISH BRACE RAFTERS AS REQUIRED AND PROVIDE COLLAR TIES 4'-0" O.C. ON ALL RIDGES. FLYOUT RAFTERS ARE NOT SHOWN ON PLANS. BUILDER/FRAMER TO INSTALL PER STANDARD FRAMING PRACTICES.
- 7) ALL LOAD BEARING HEADERS, CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER. ROOF AND FLOOR TRUSS DESIGN & SPACING PER ENGINEER'S SPECIFICATIONS.
- 8) WALLS OVER 10'-0" TO BE 2X6 FRAMED. USE DBL. 2X4 @ 12" O.C. FRAMING IF 6" WALLS ARE NOT POSSIBLE.
- 9) BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO ALL APPLICABLE BUILDING CODES.



SCHEMATIC ROOF PLAN  
SCALE 1/4" = 1'-0"



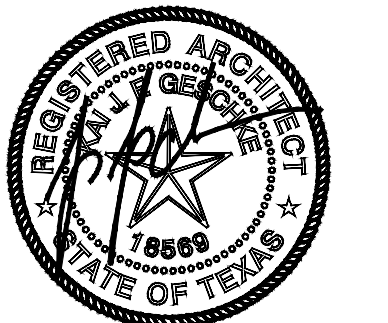
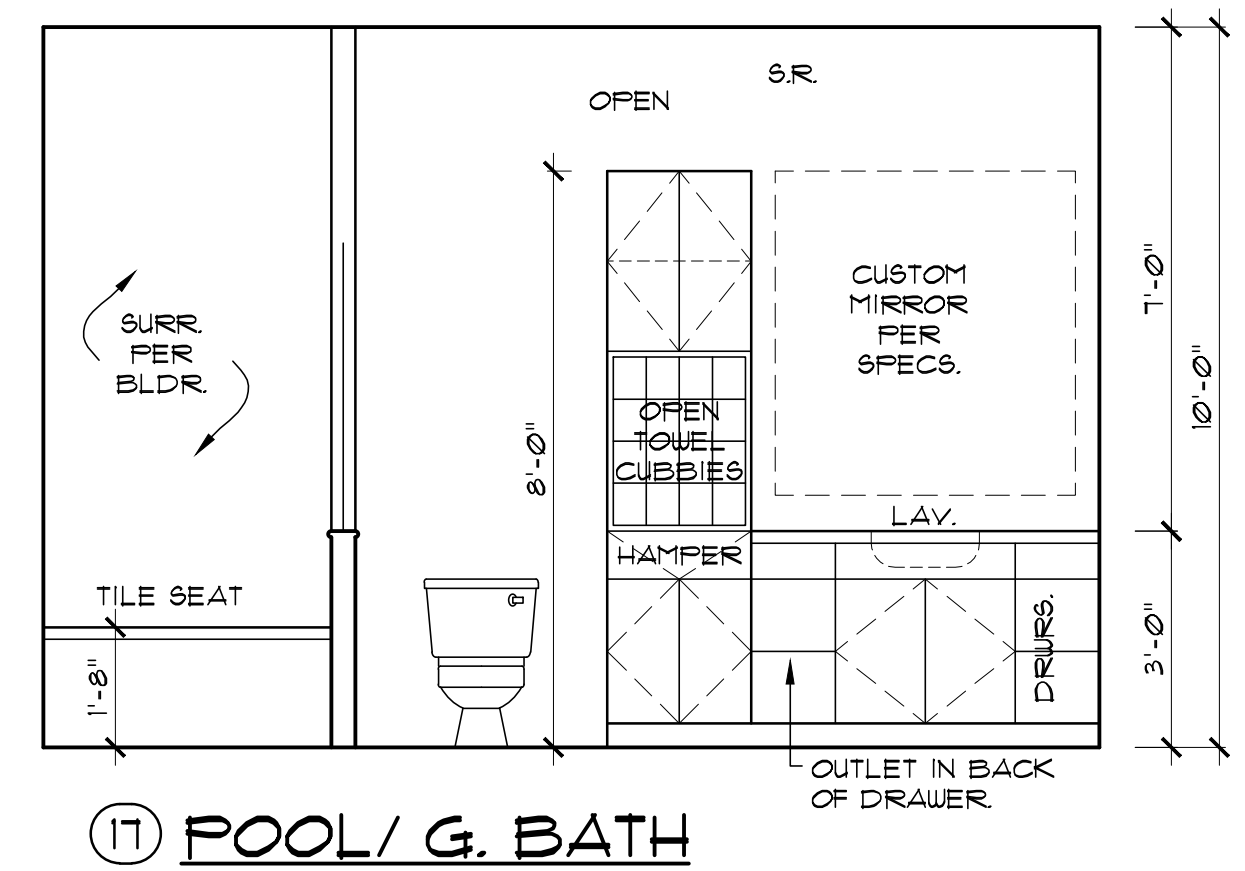
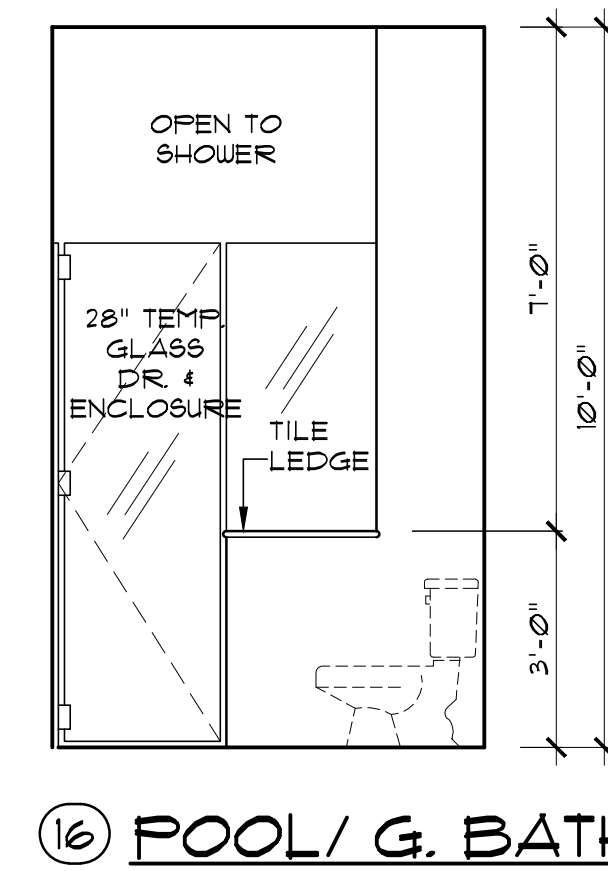
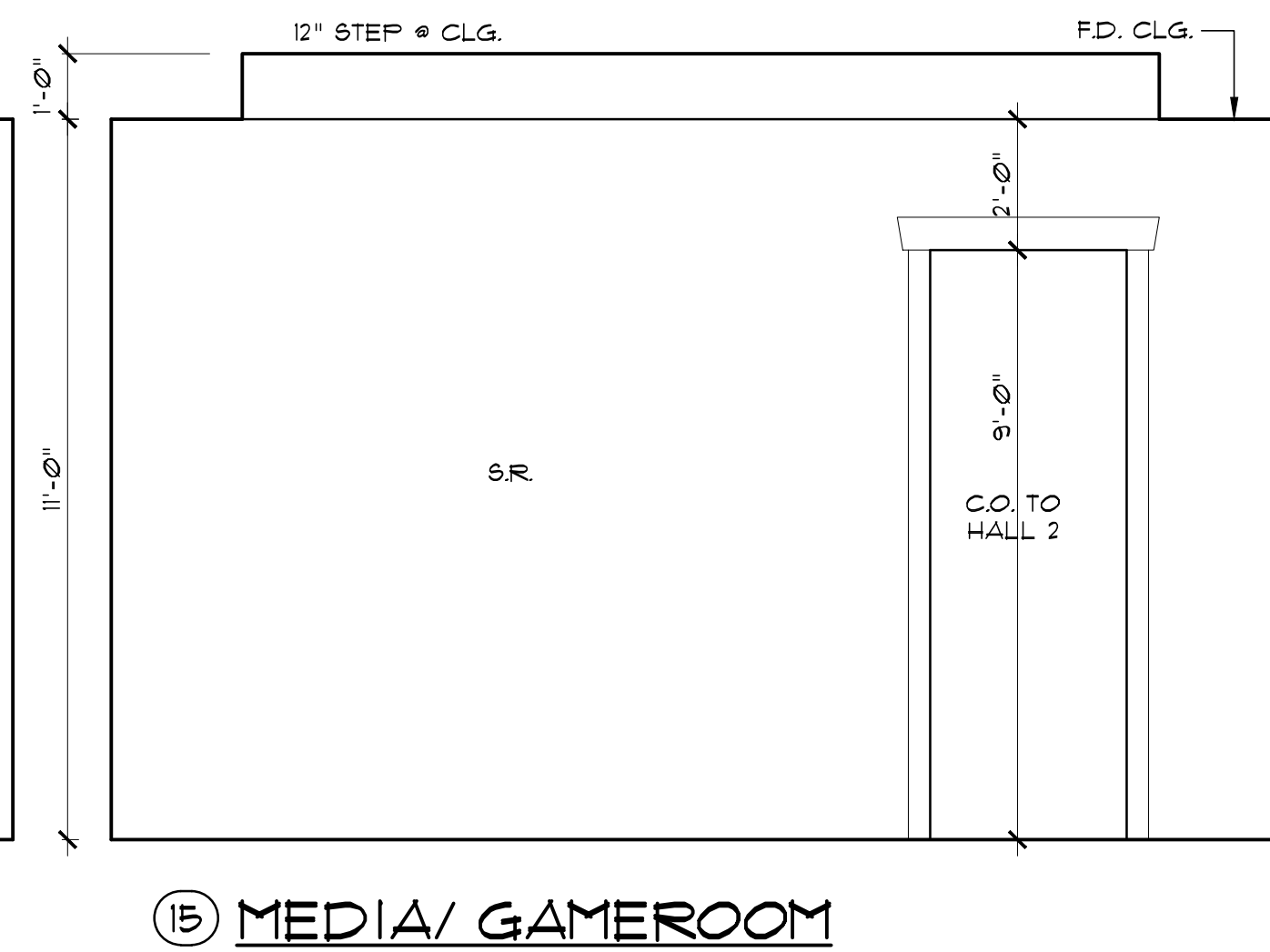
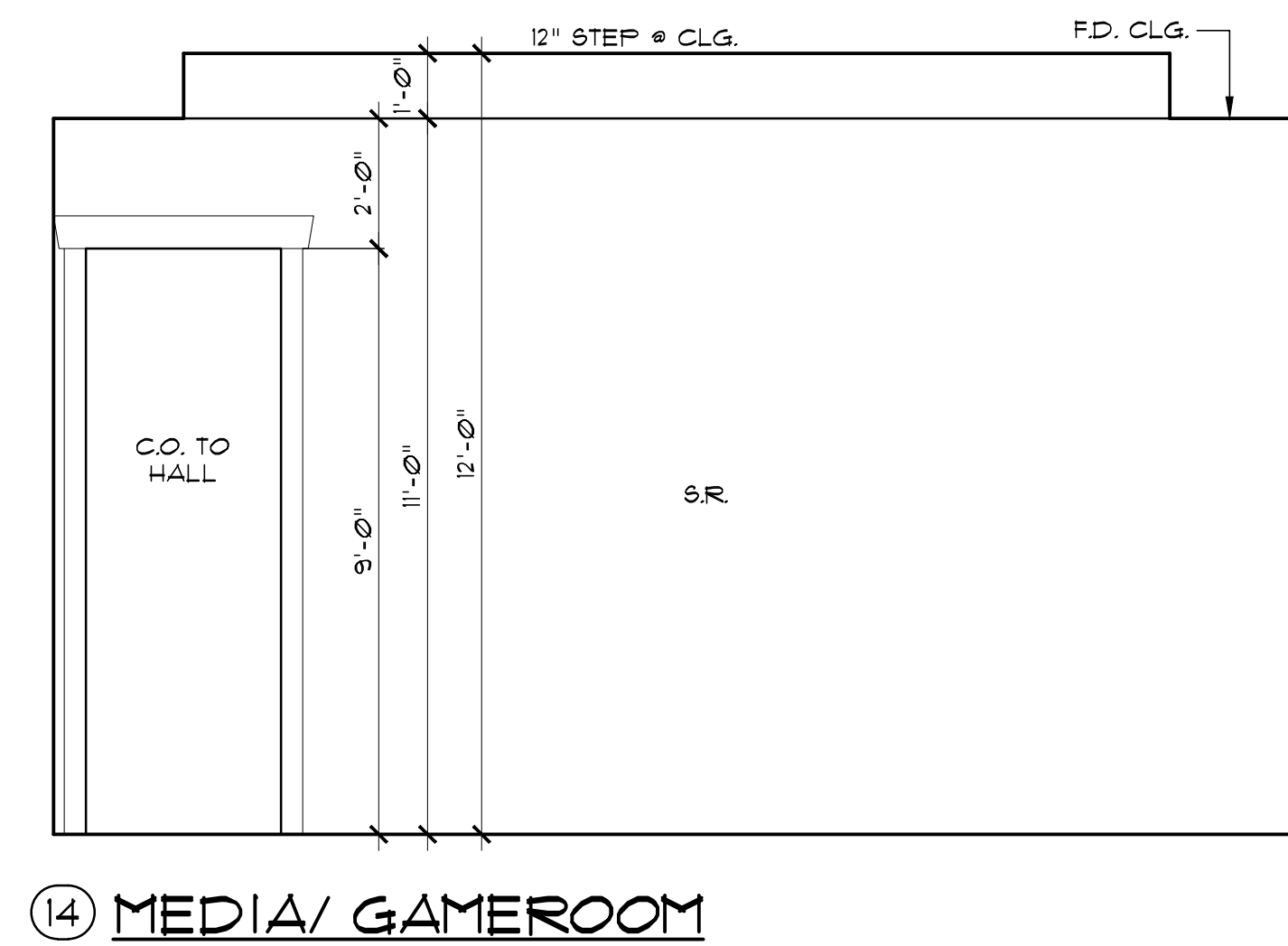
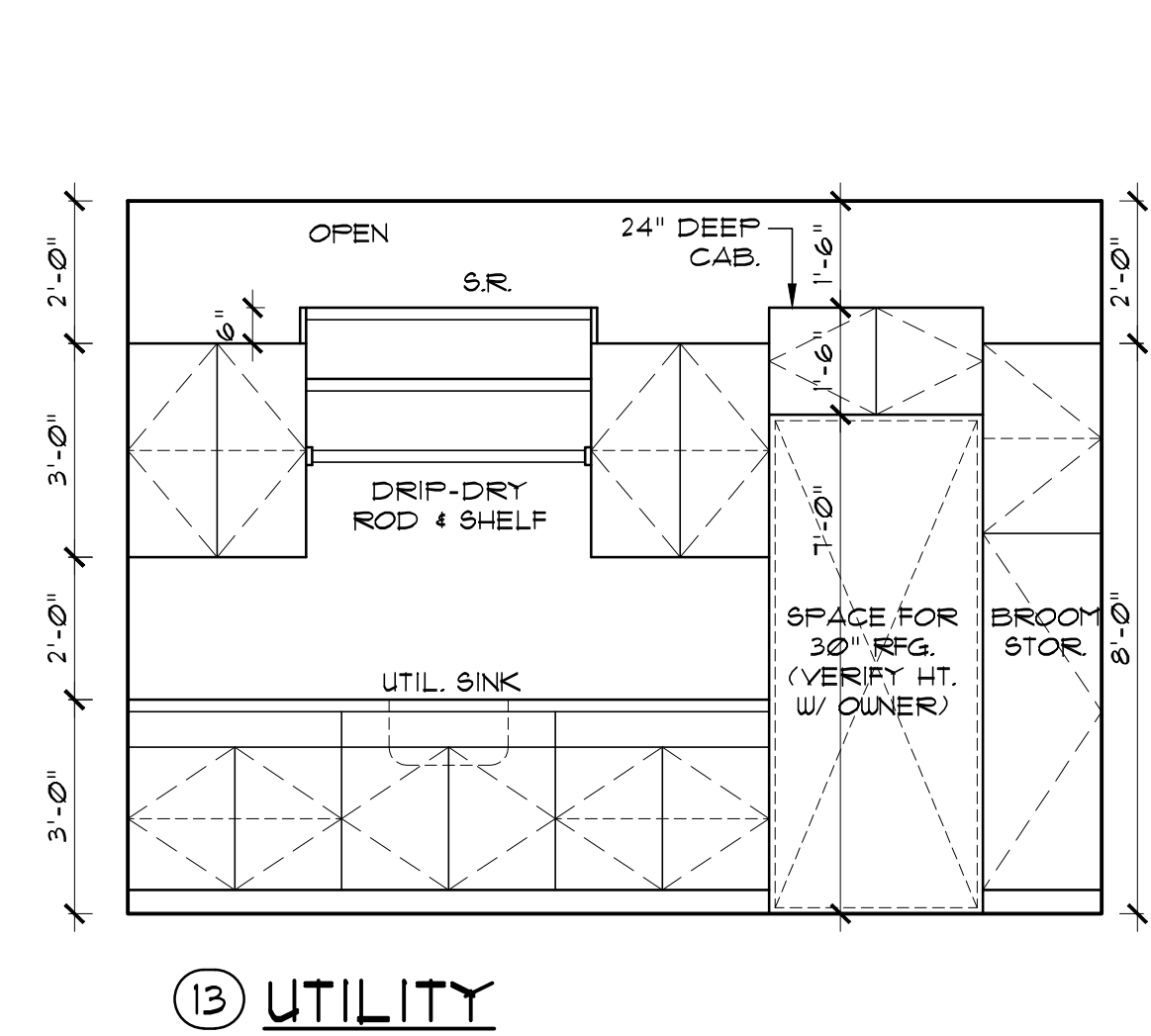
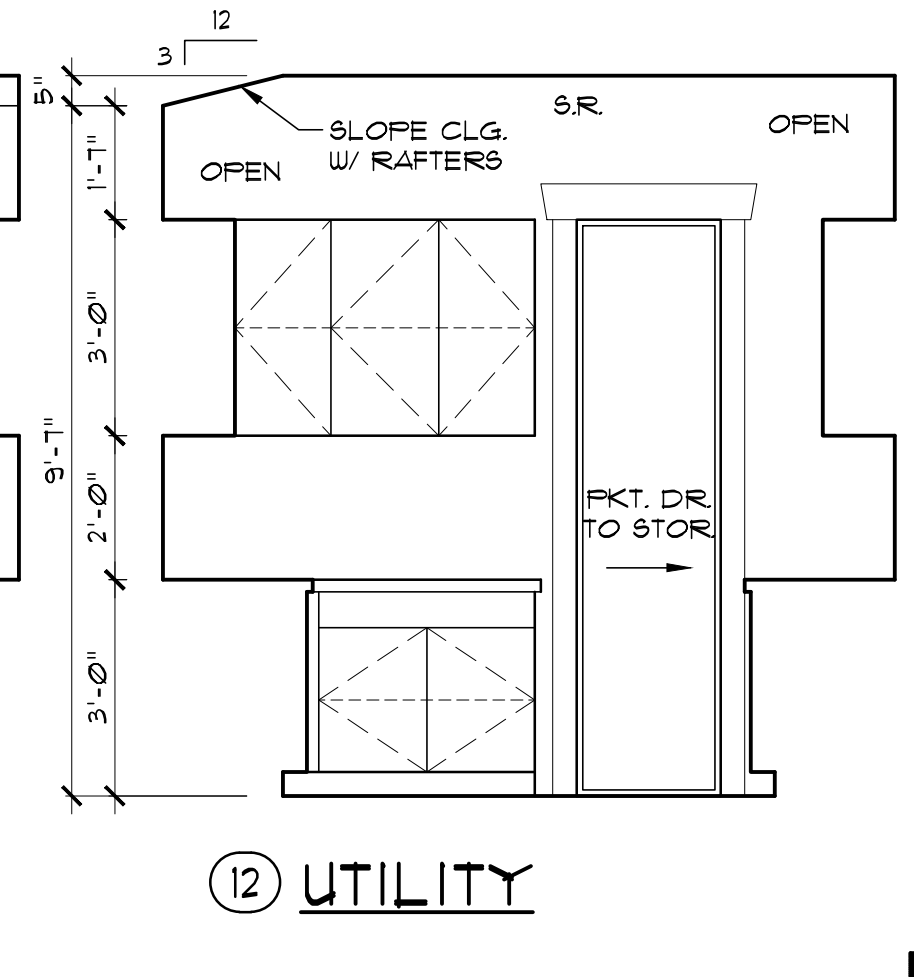
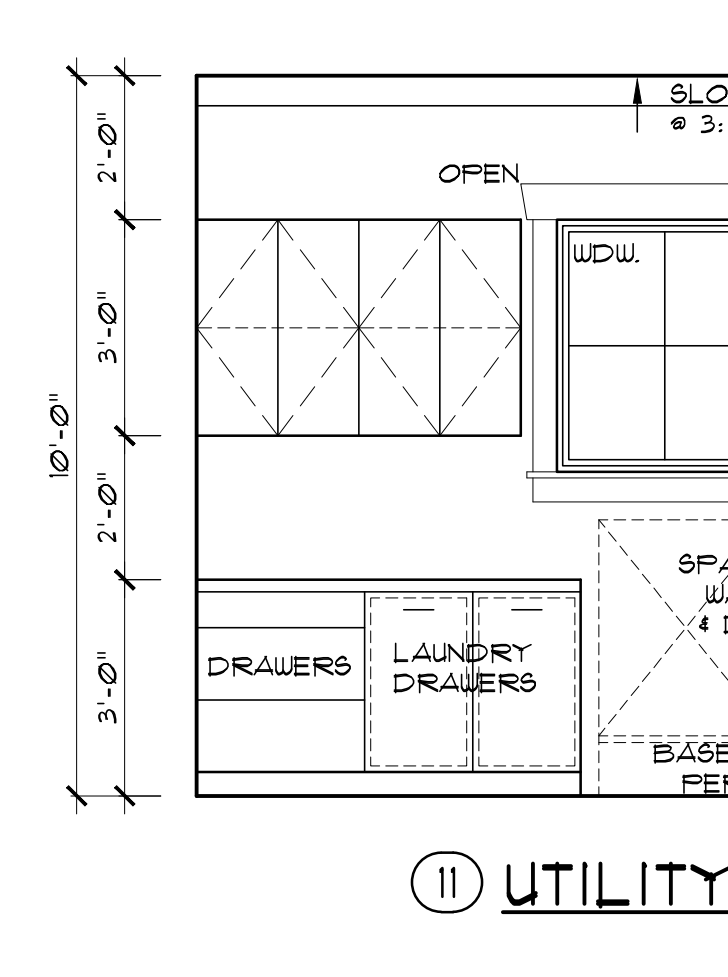
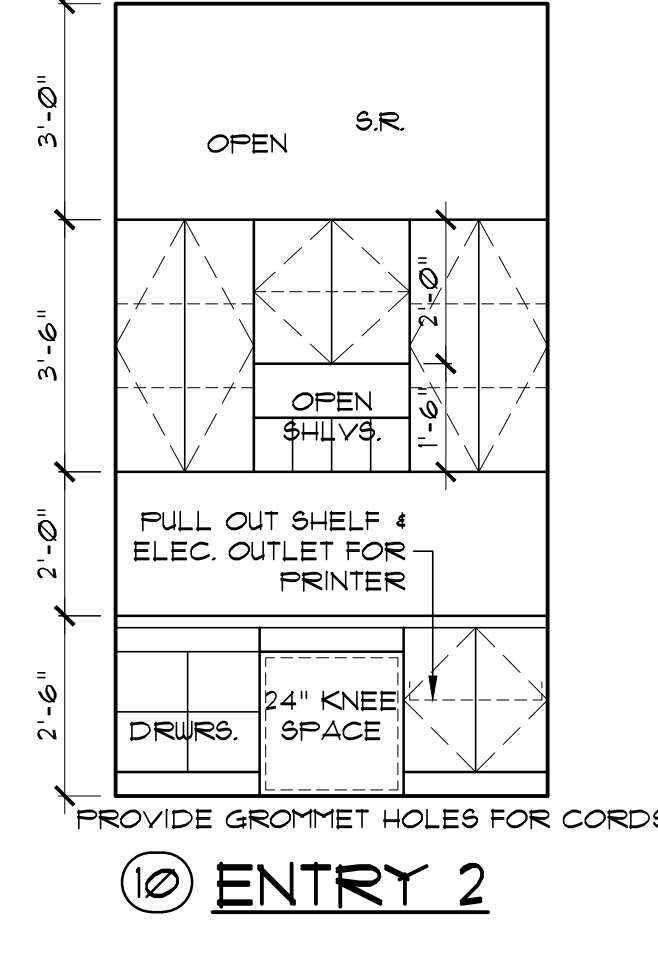
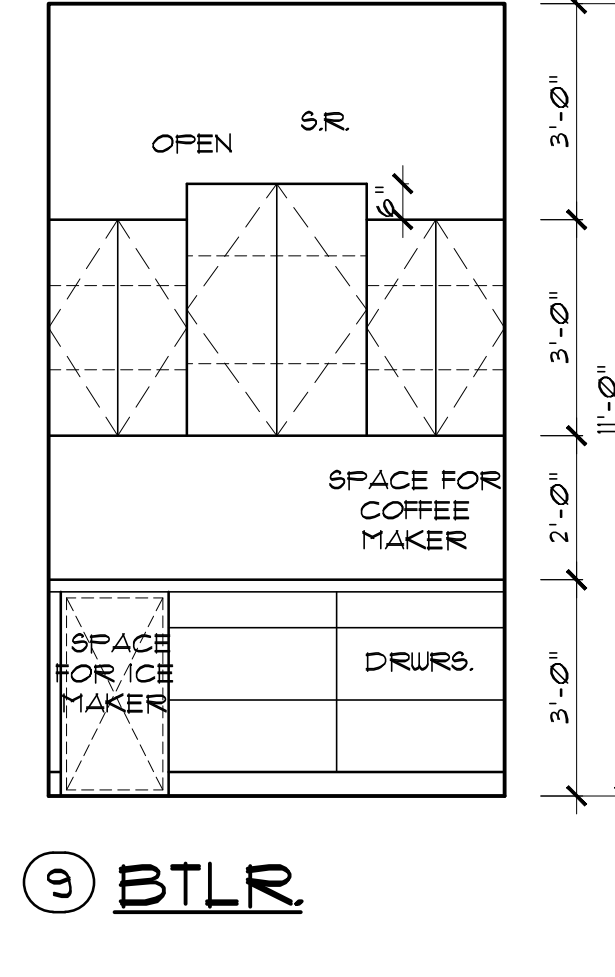
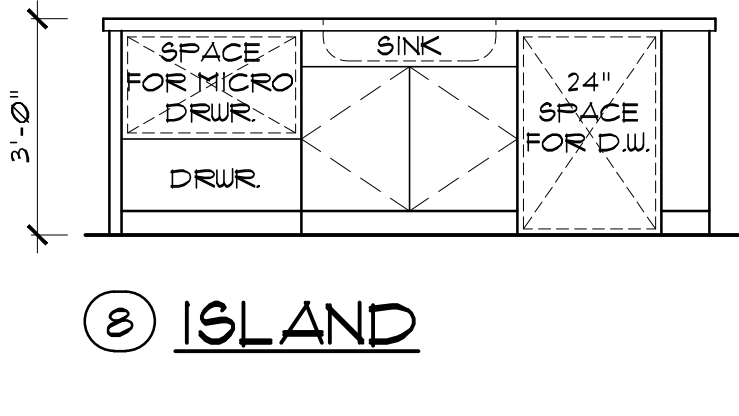
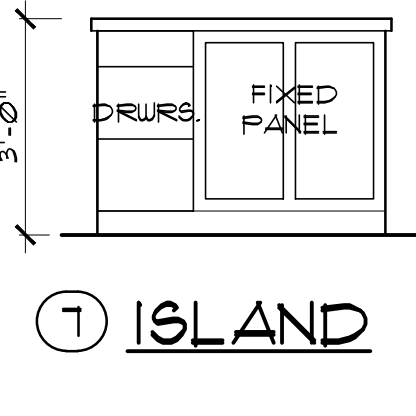
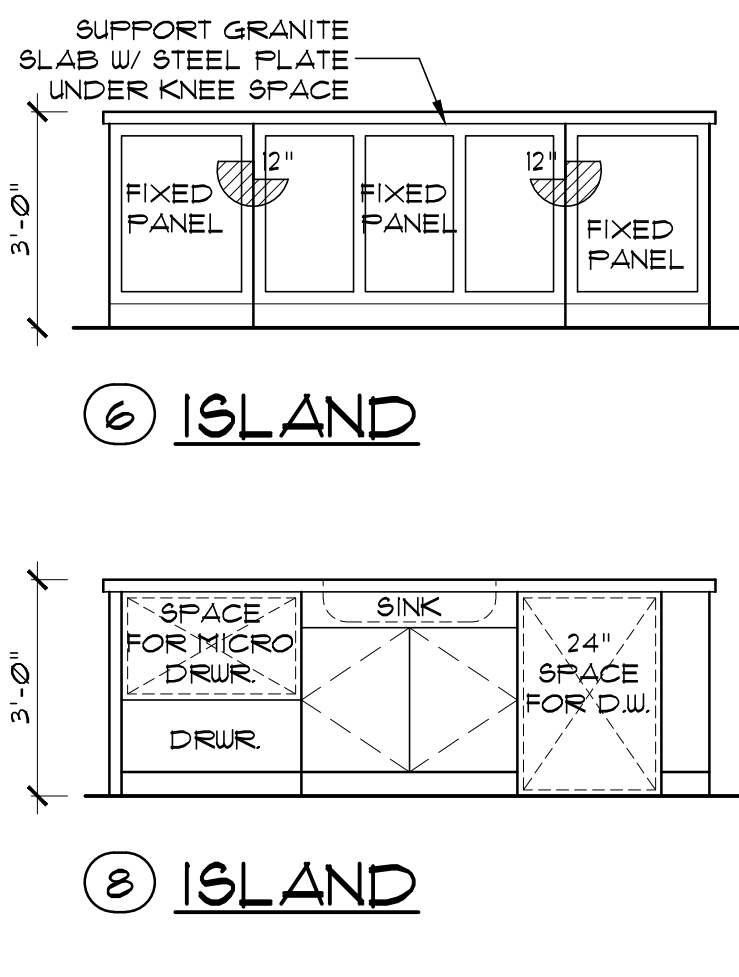
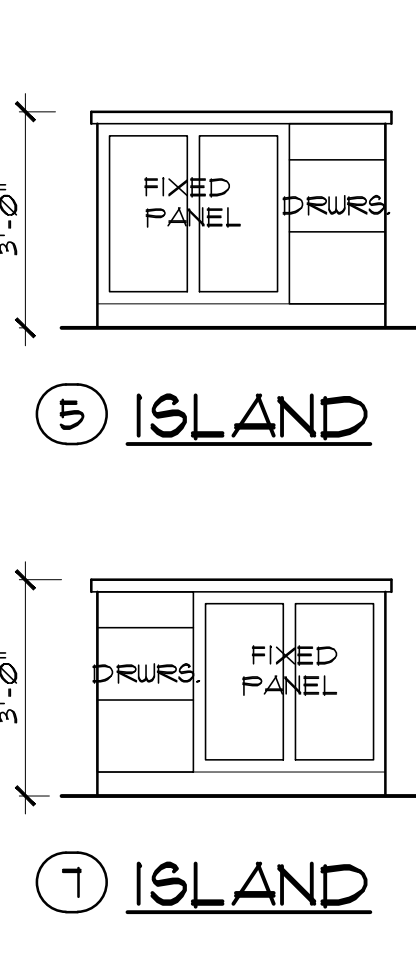
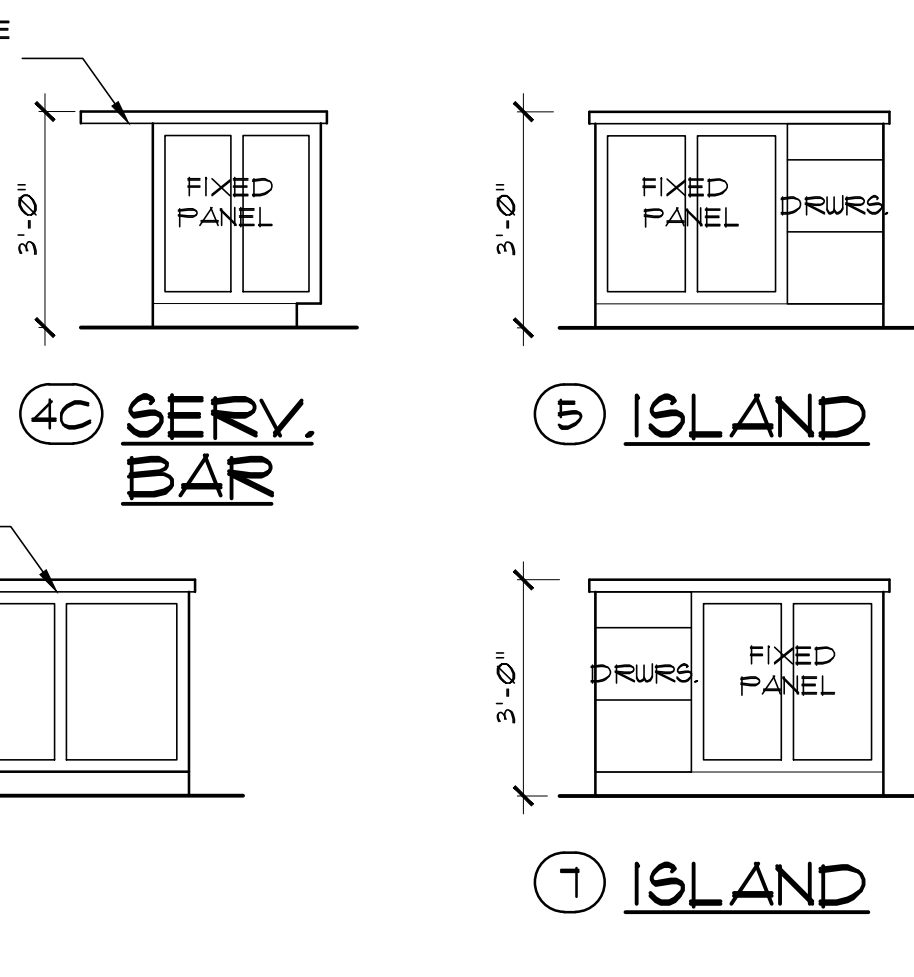
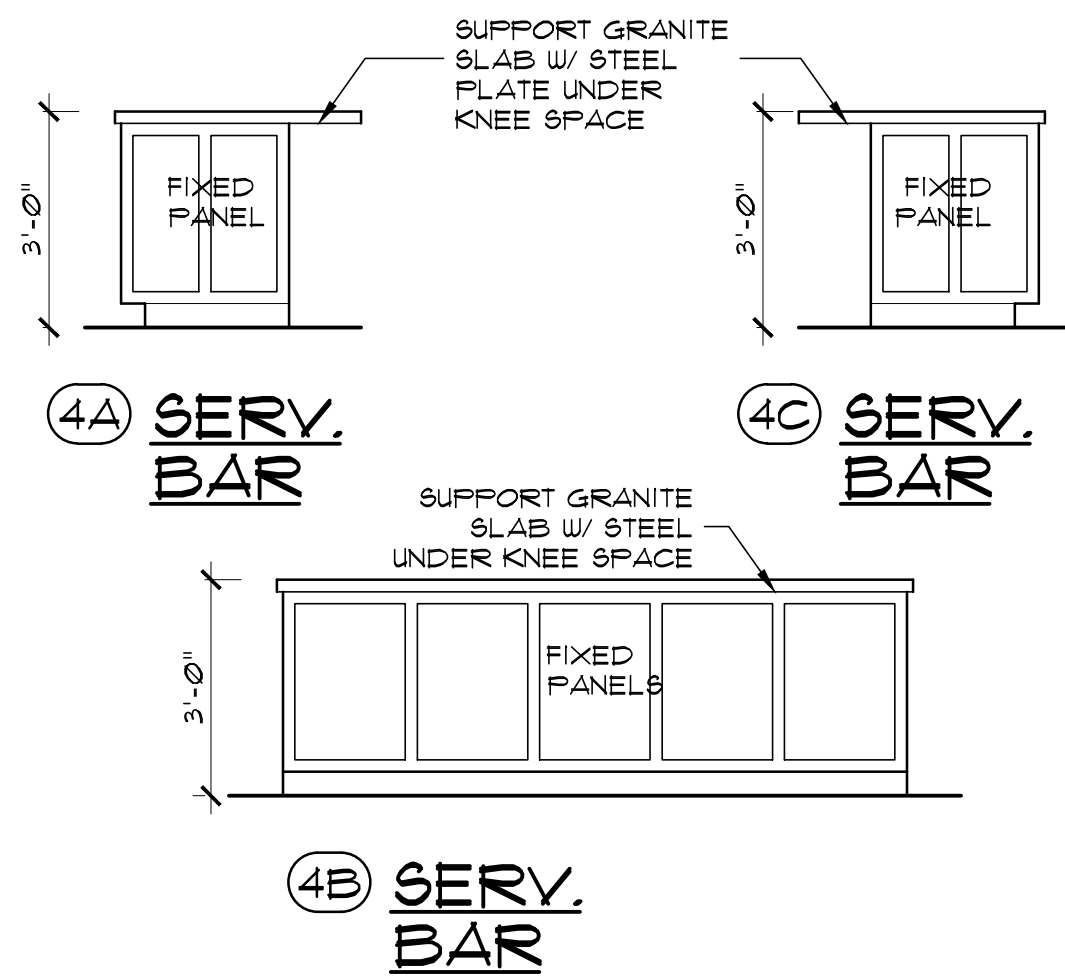
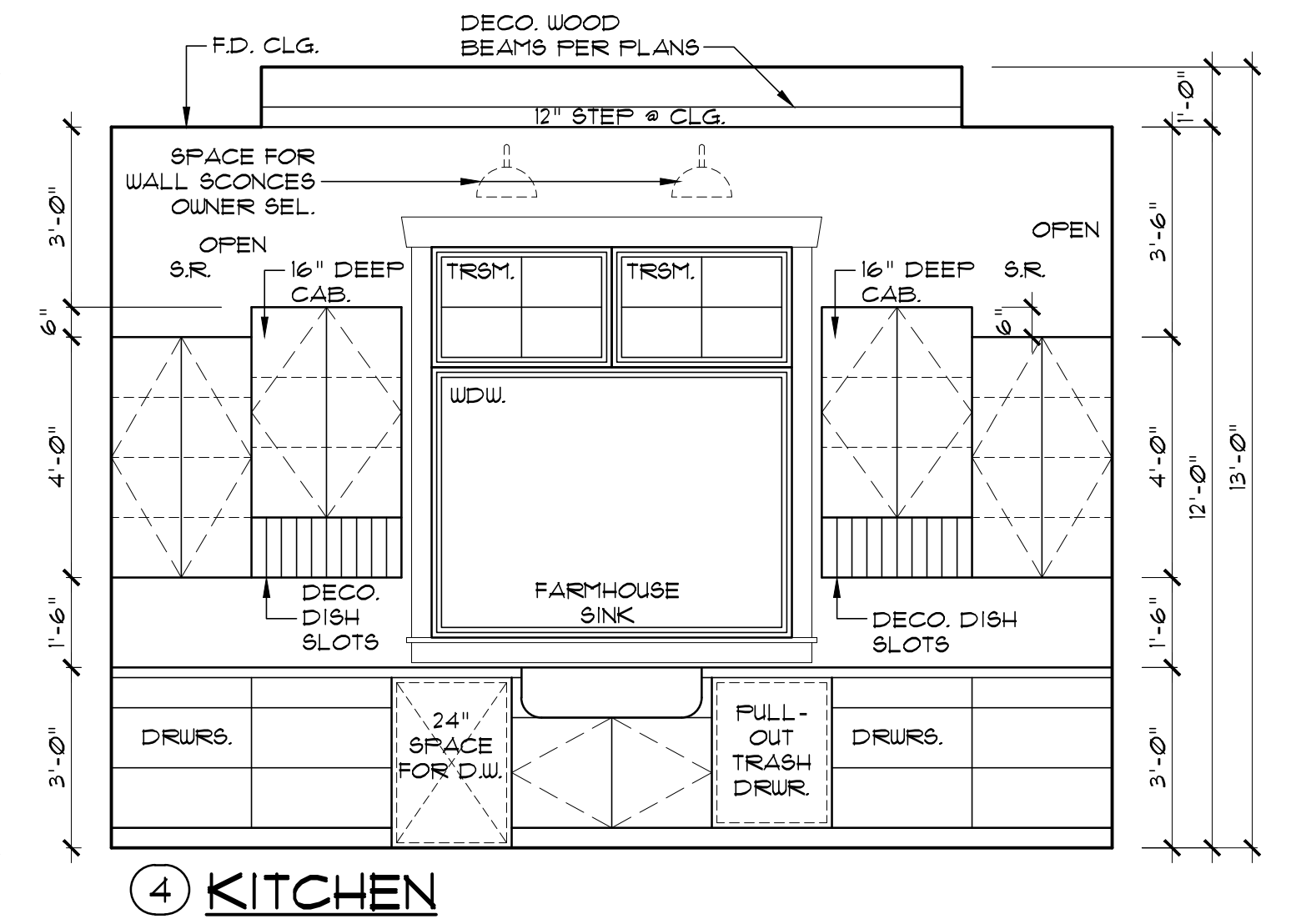
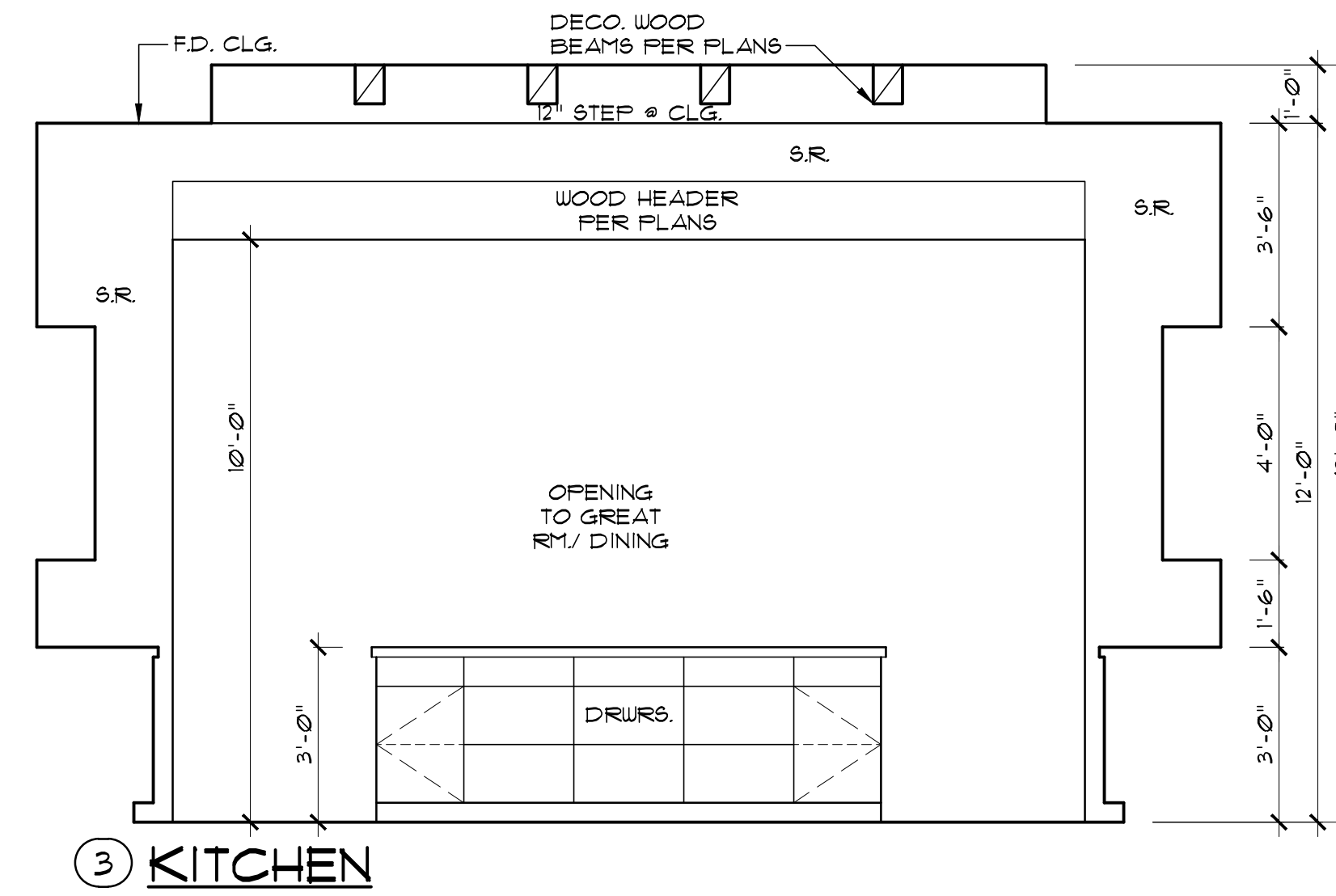
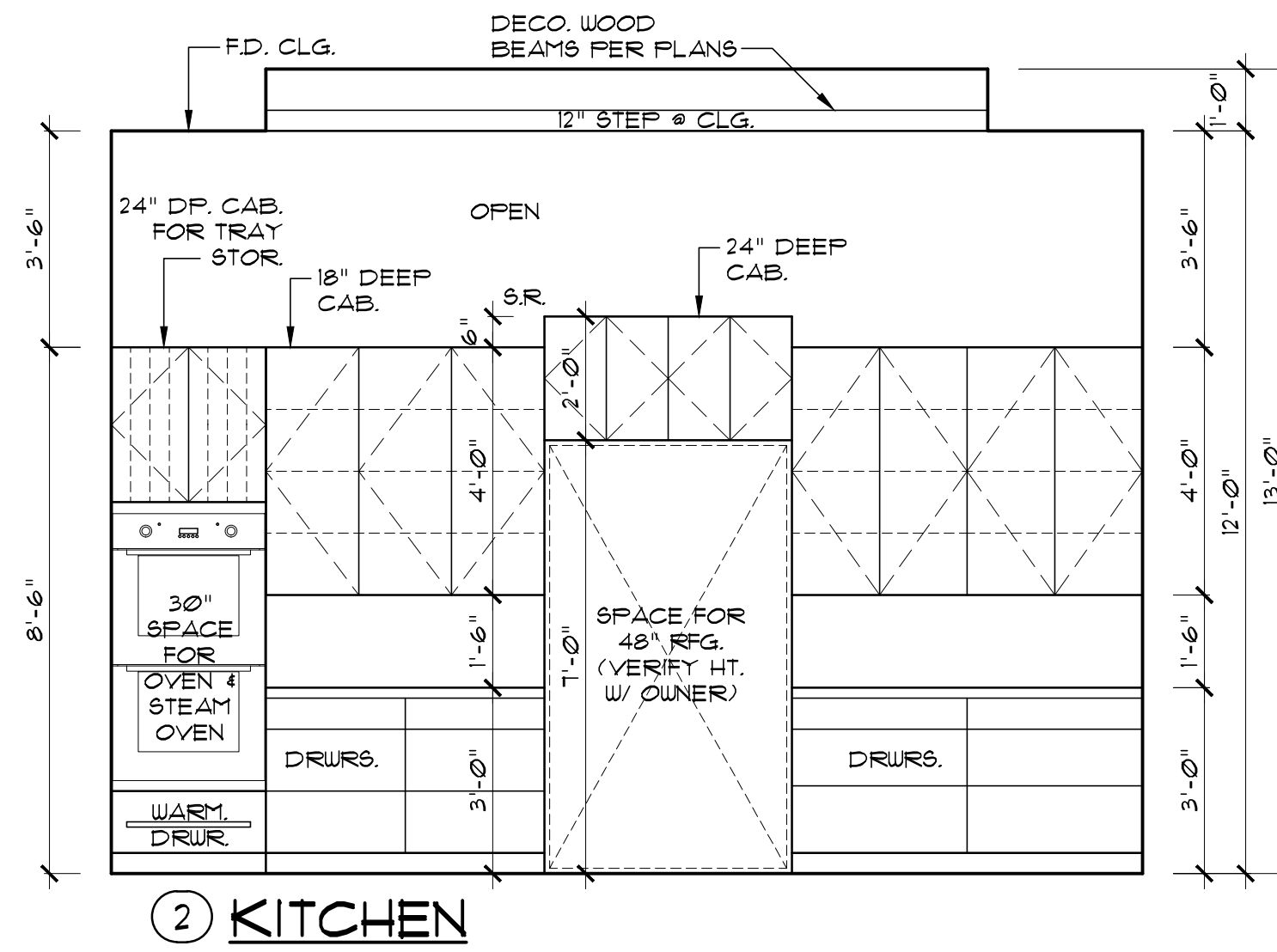
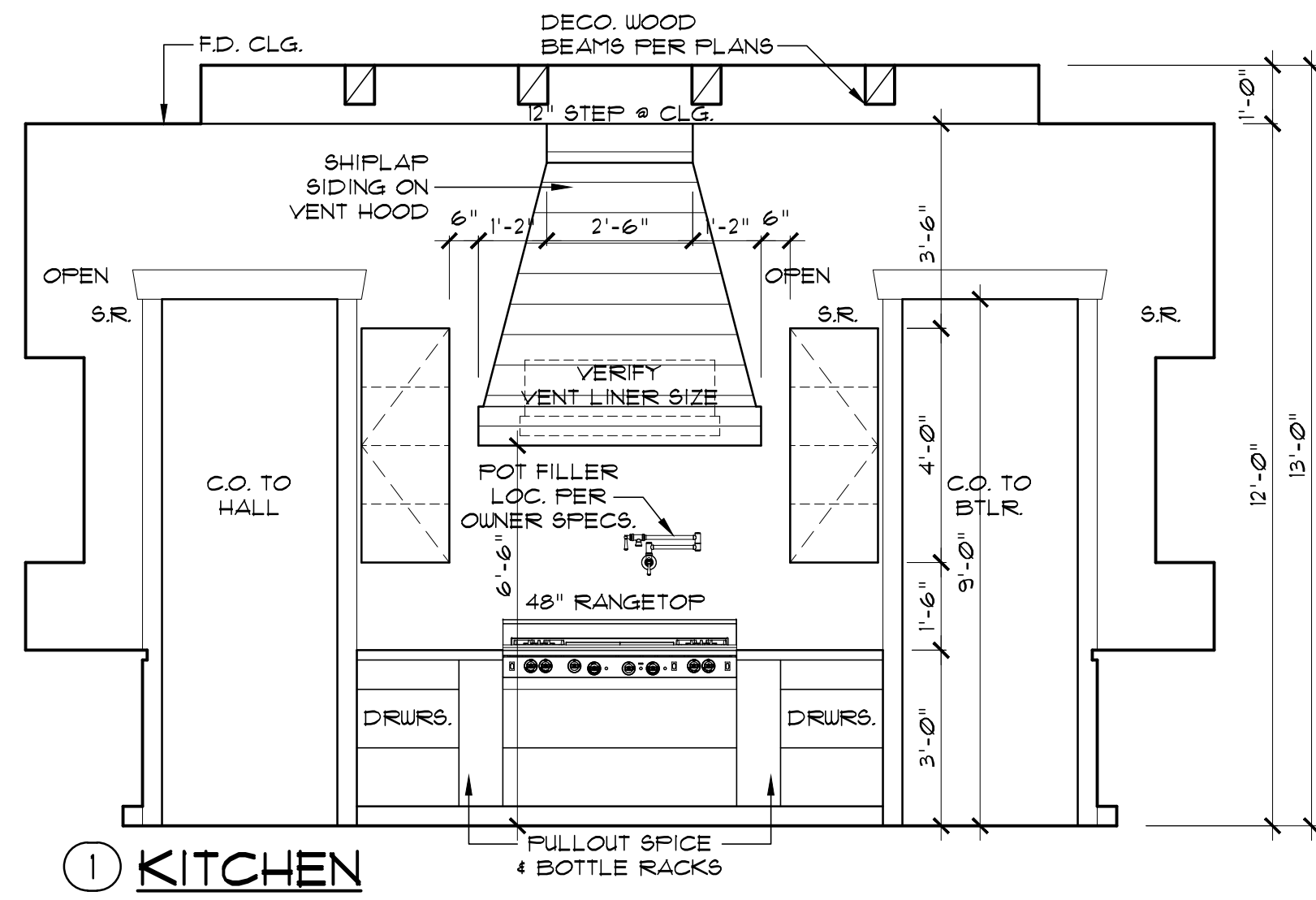
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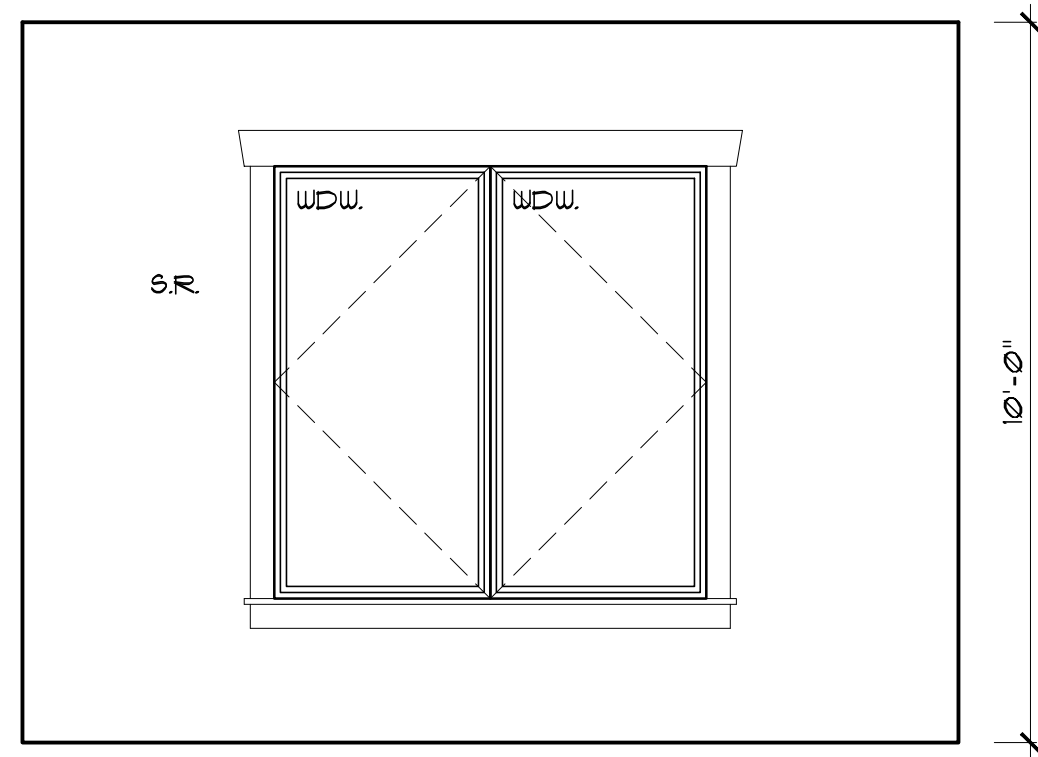
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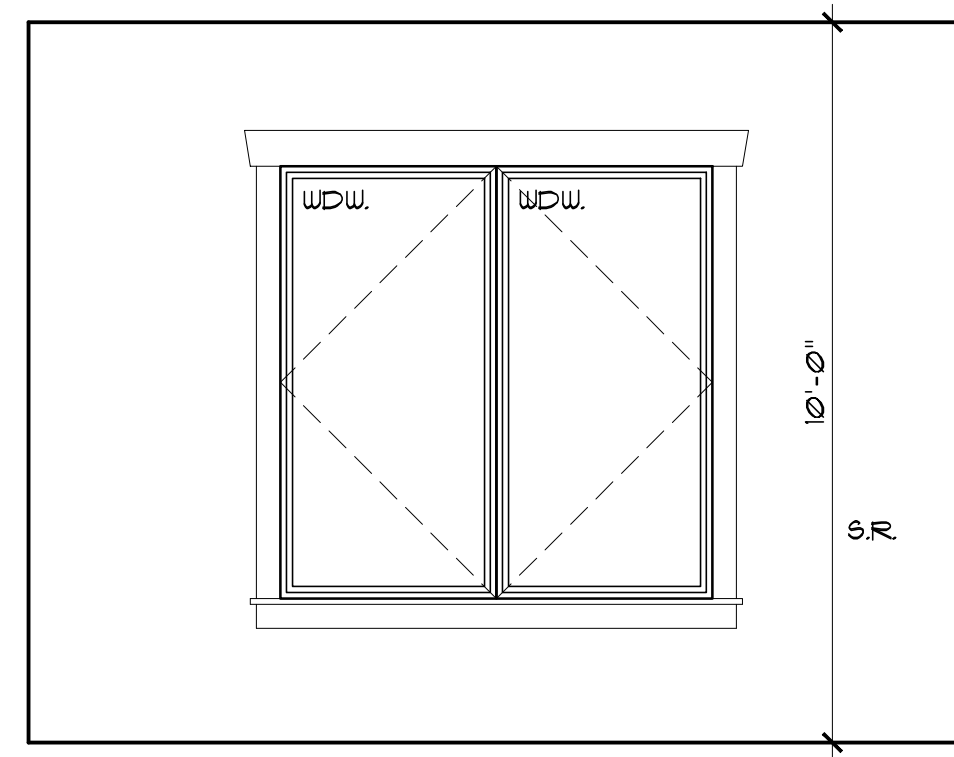
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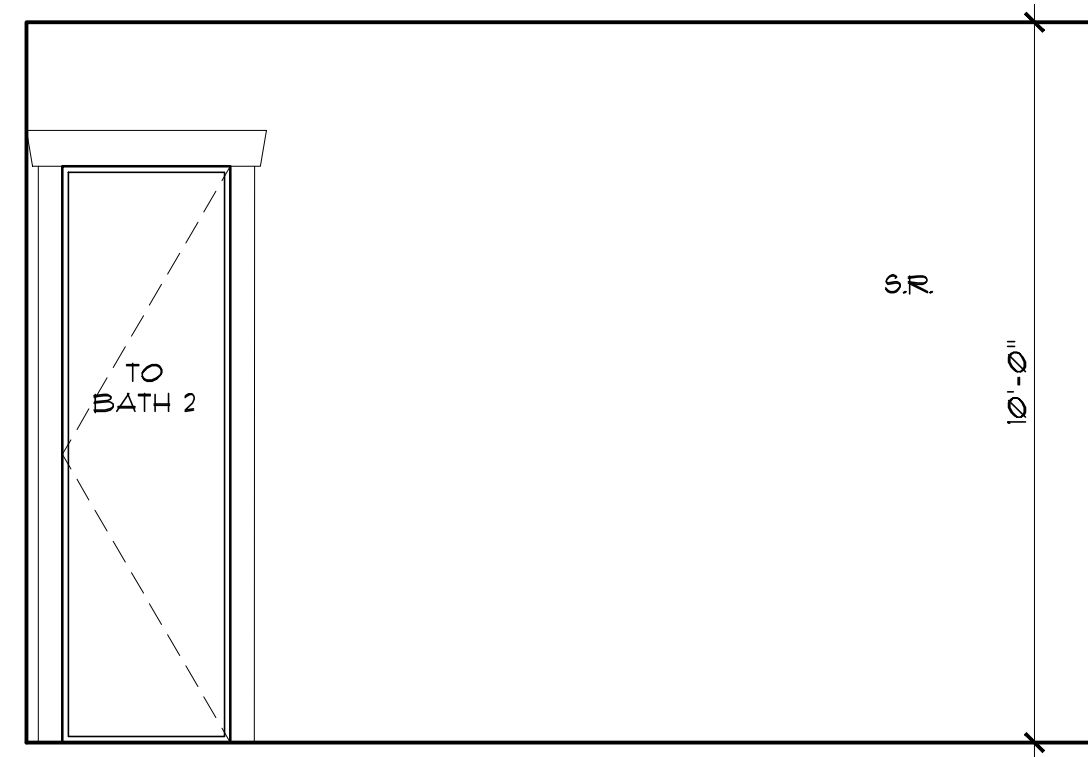
INTERIOR  
ELEVATIONS  
SCALE 3/8" = 1'-0"



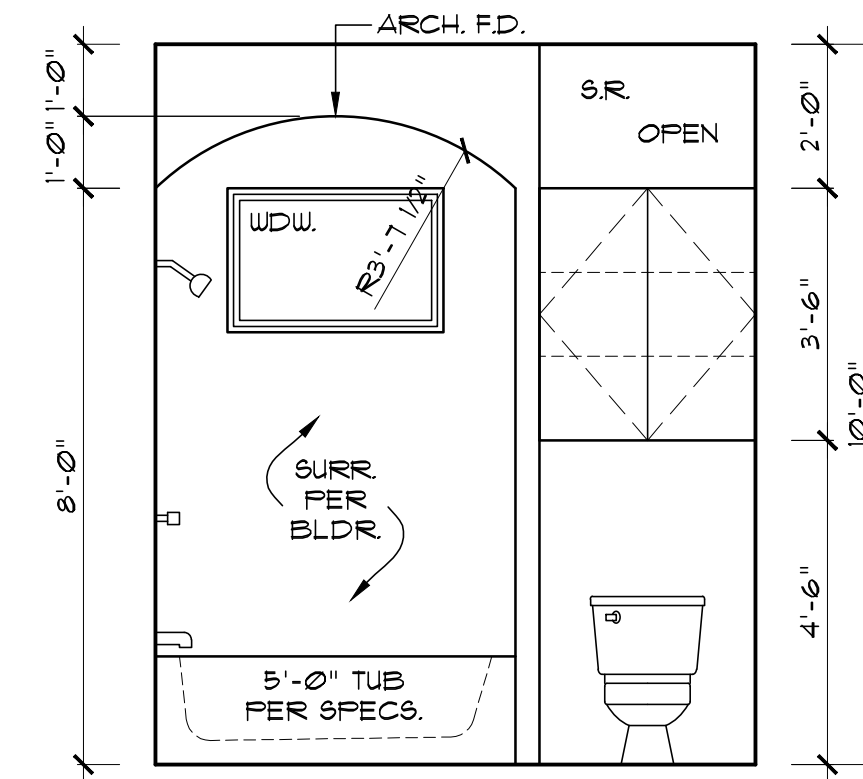
18 GST. STE./ BDRM. 4



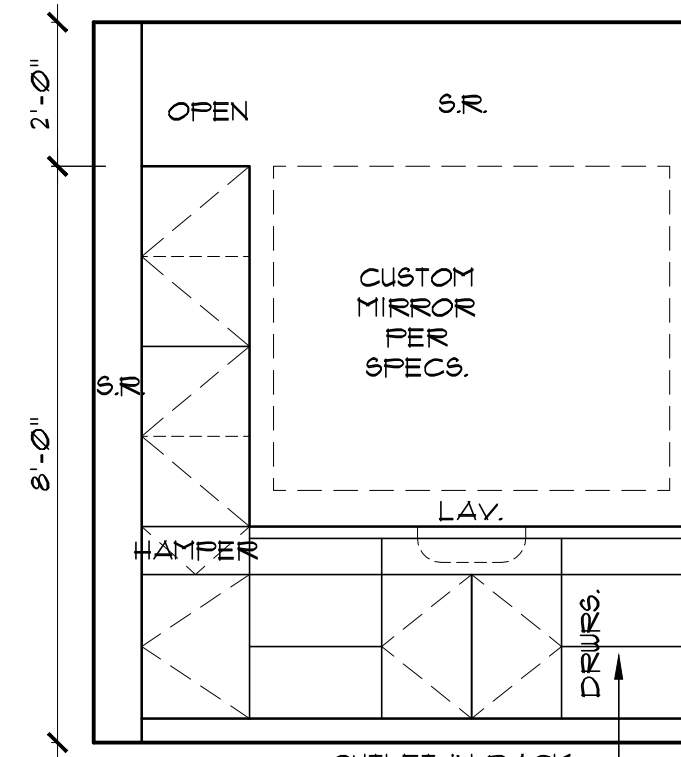
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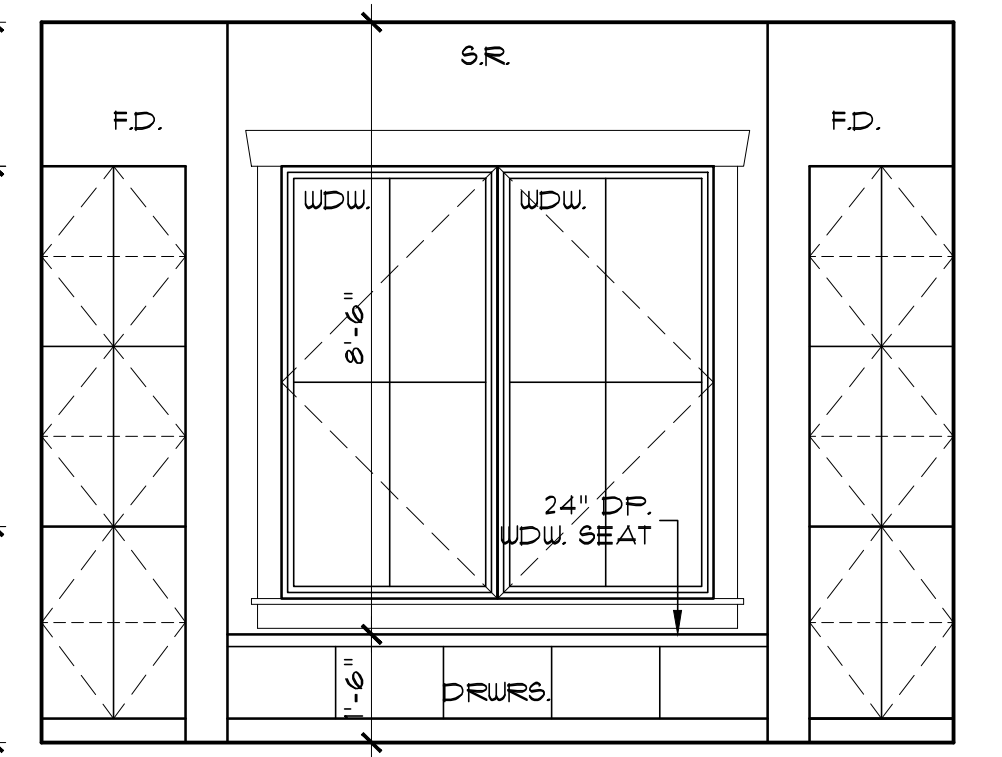
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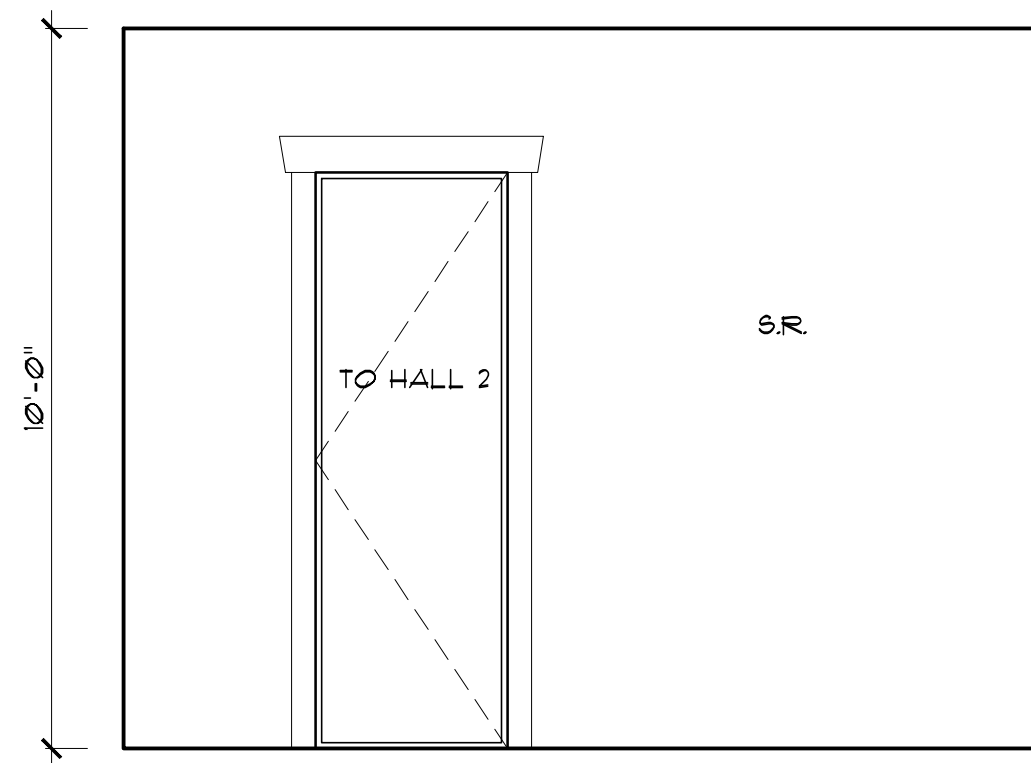
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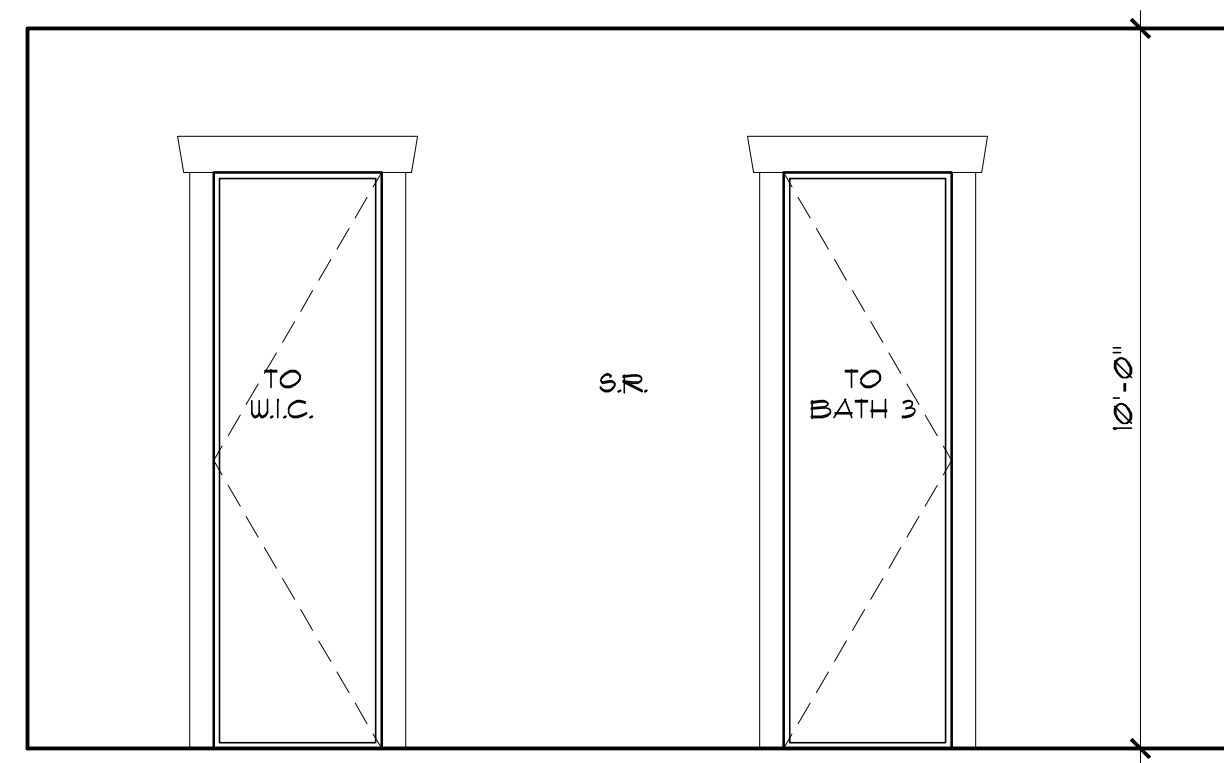
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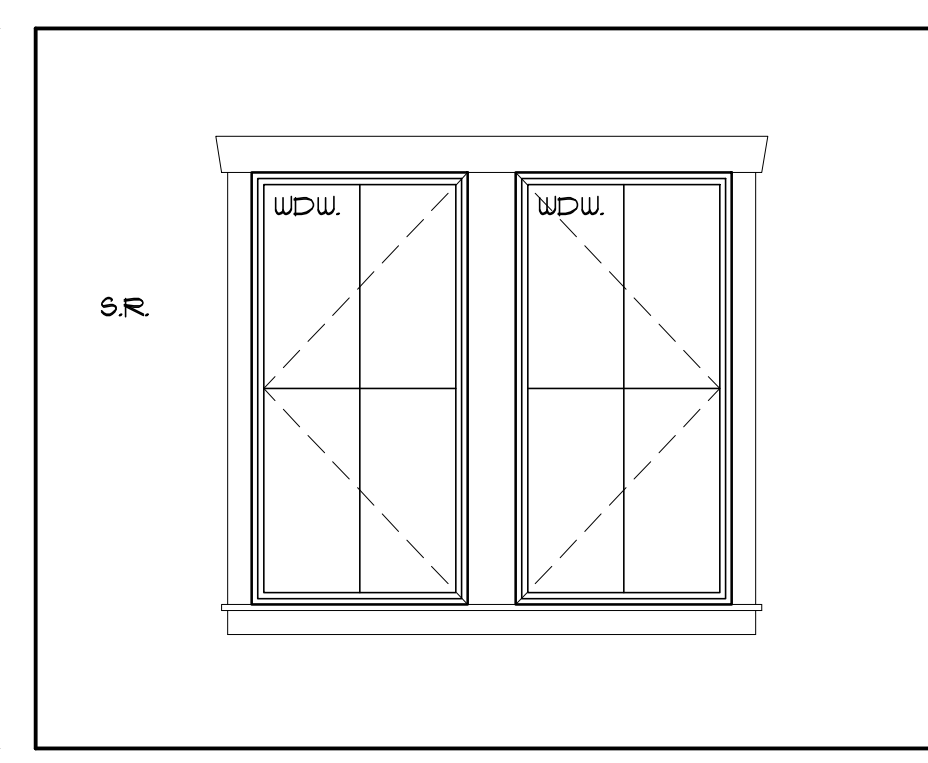
23 HALL 2



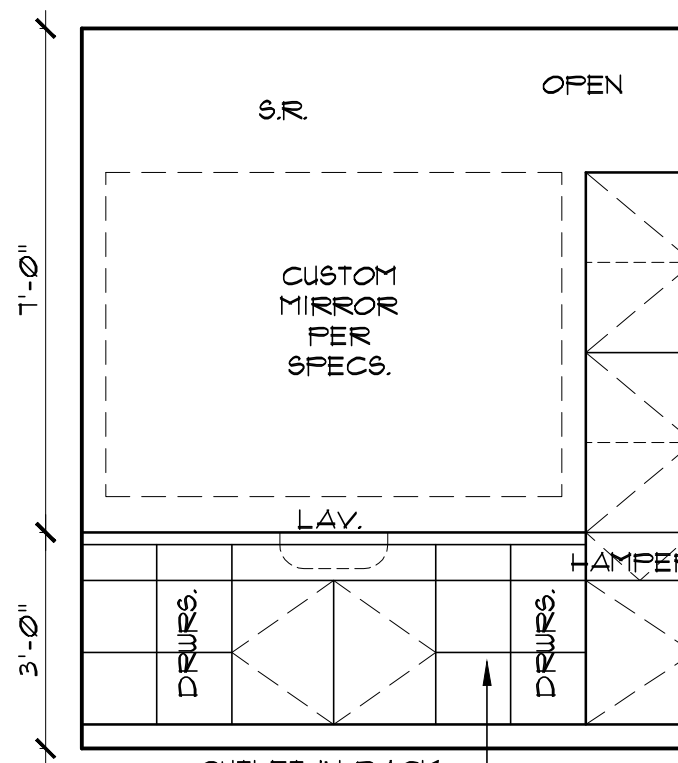
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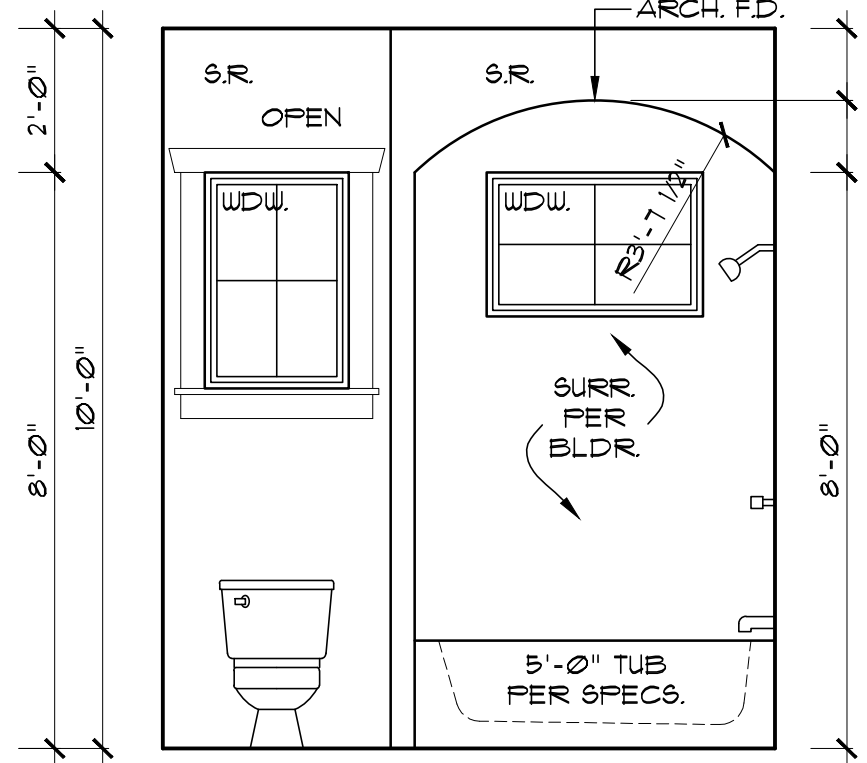
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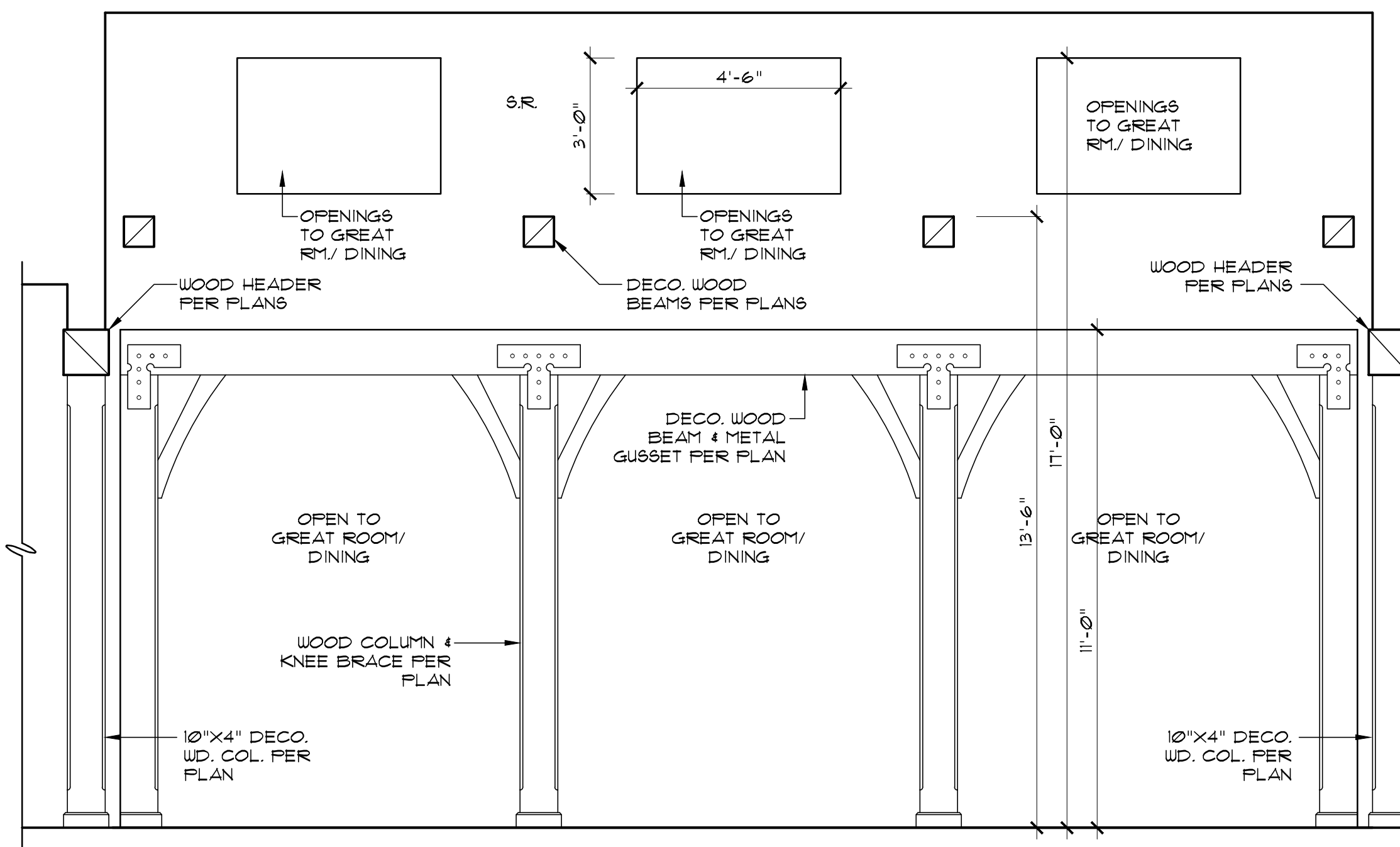
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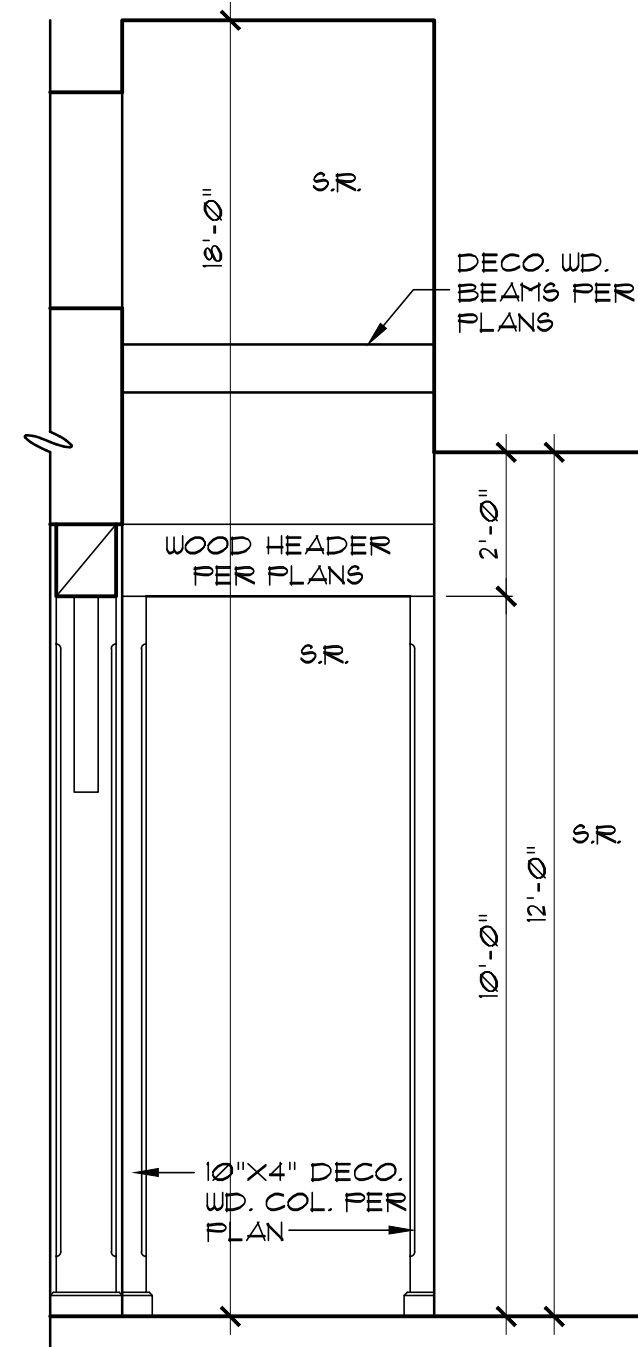
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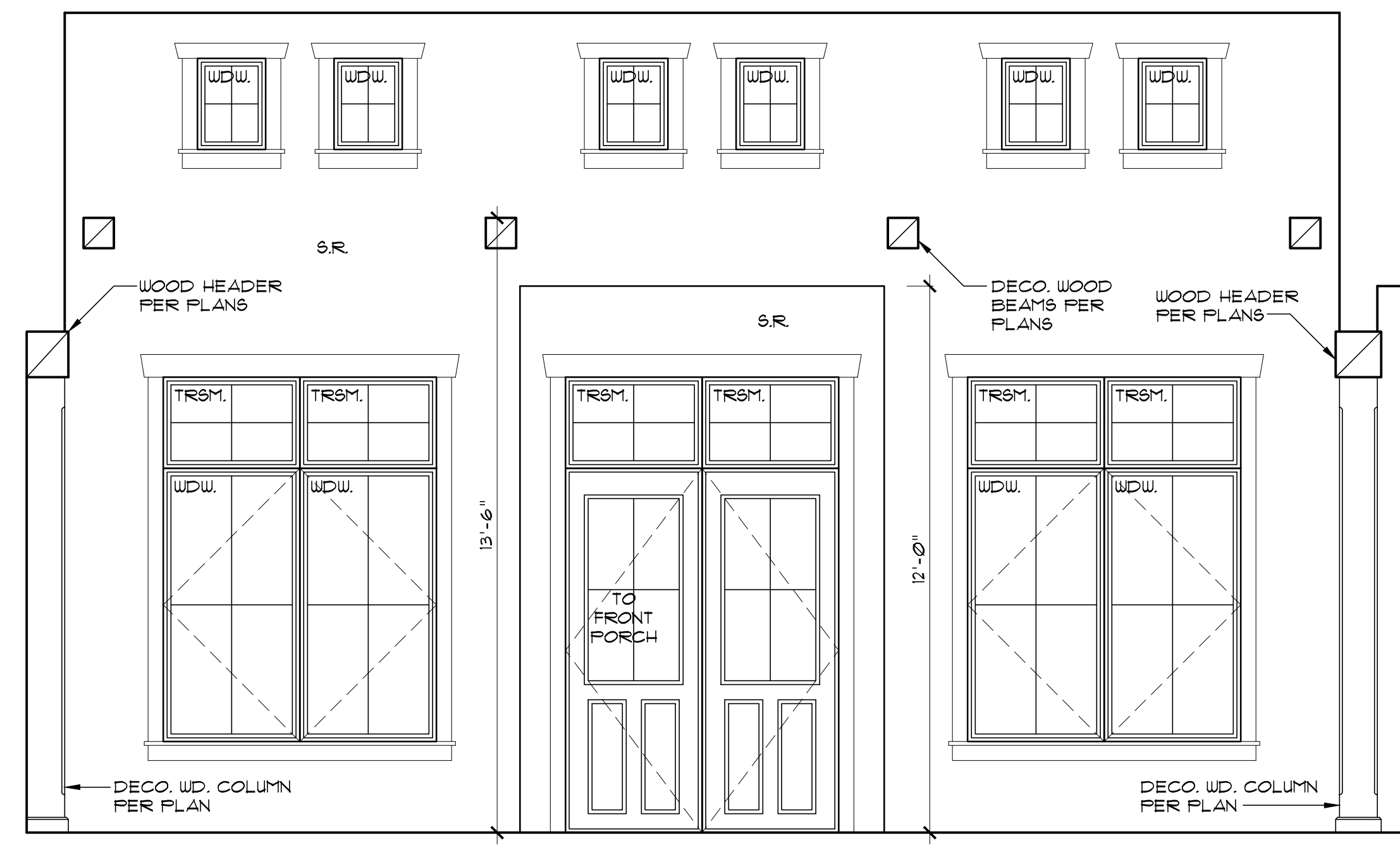
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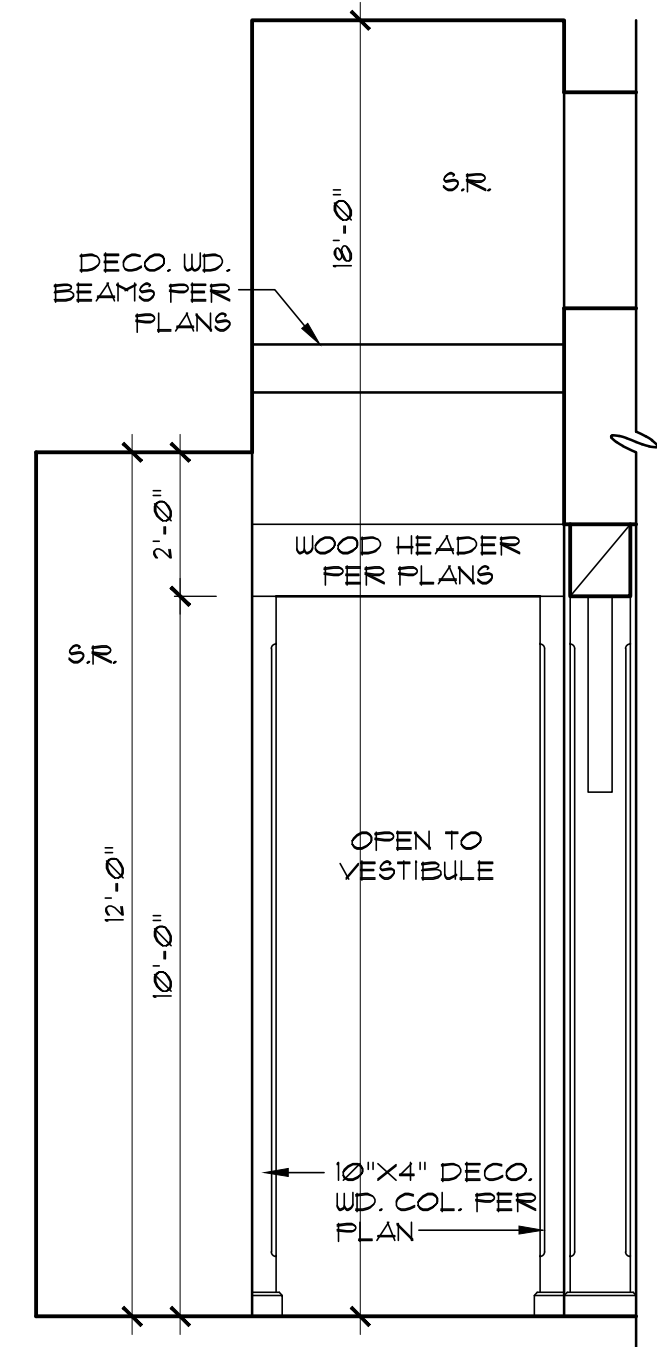
29 GALLERY



30 GALLERY

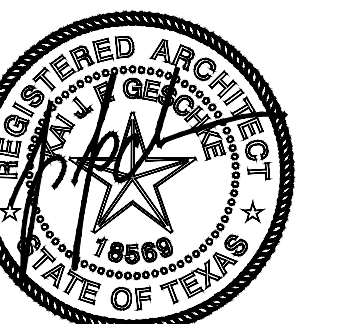


31 GALLERY



32 GALLERY

INTERIOR  
ELEVATIONS  
SCALE 3/8" = 1'-0"



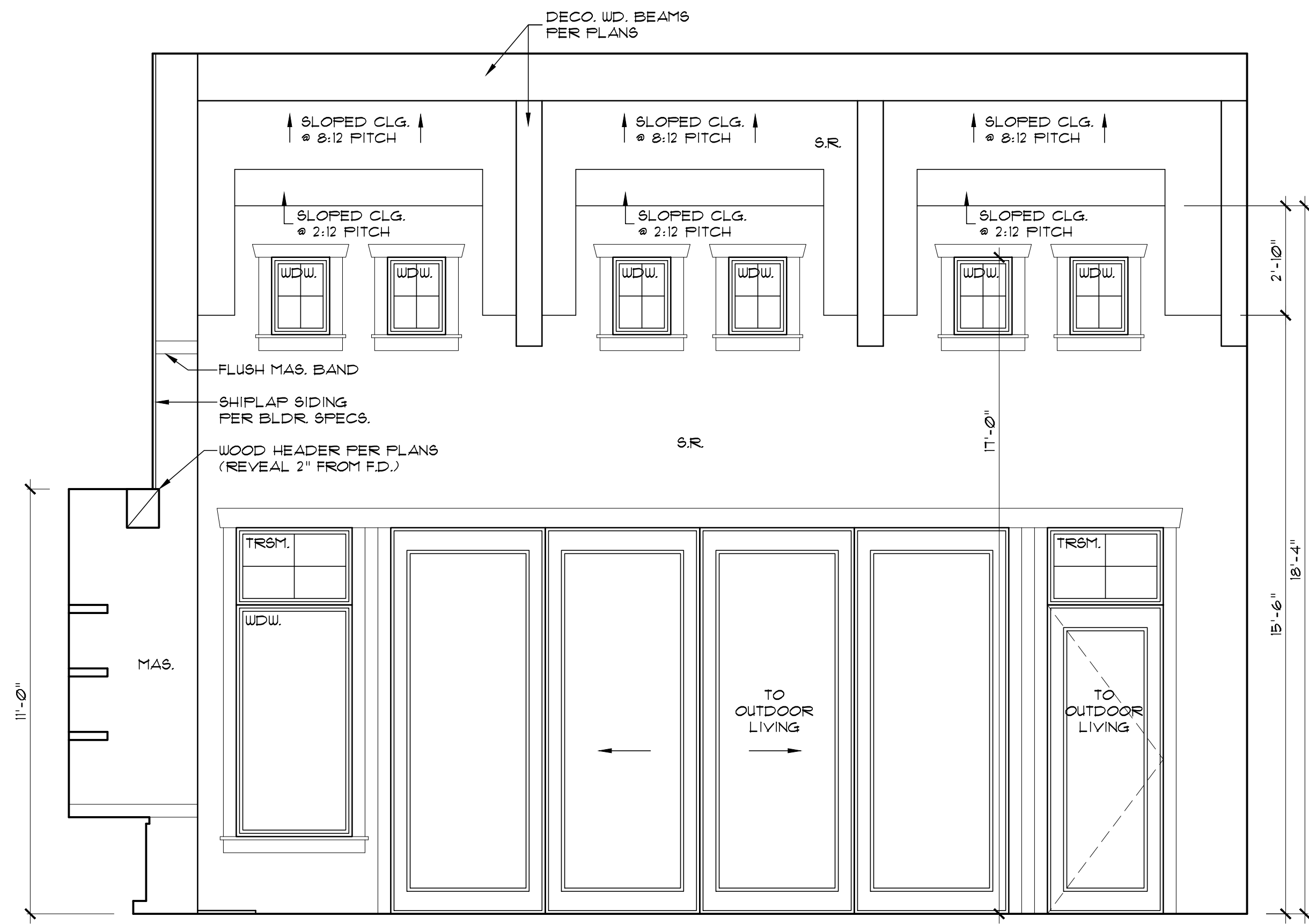
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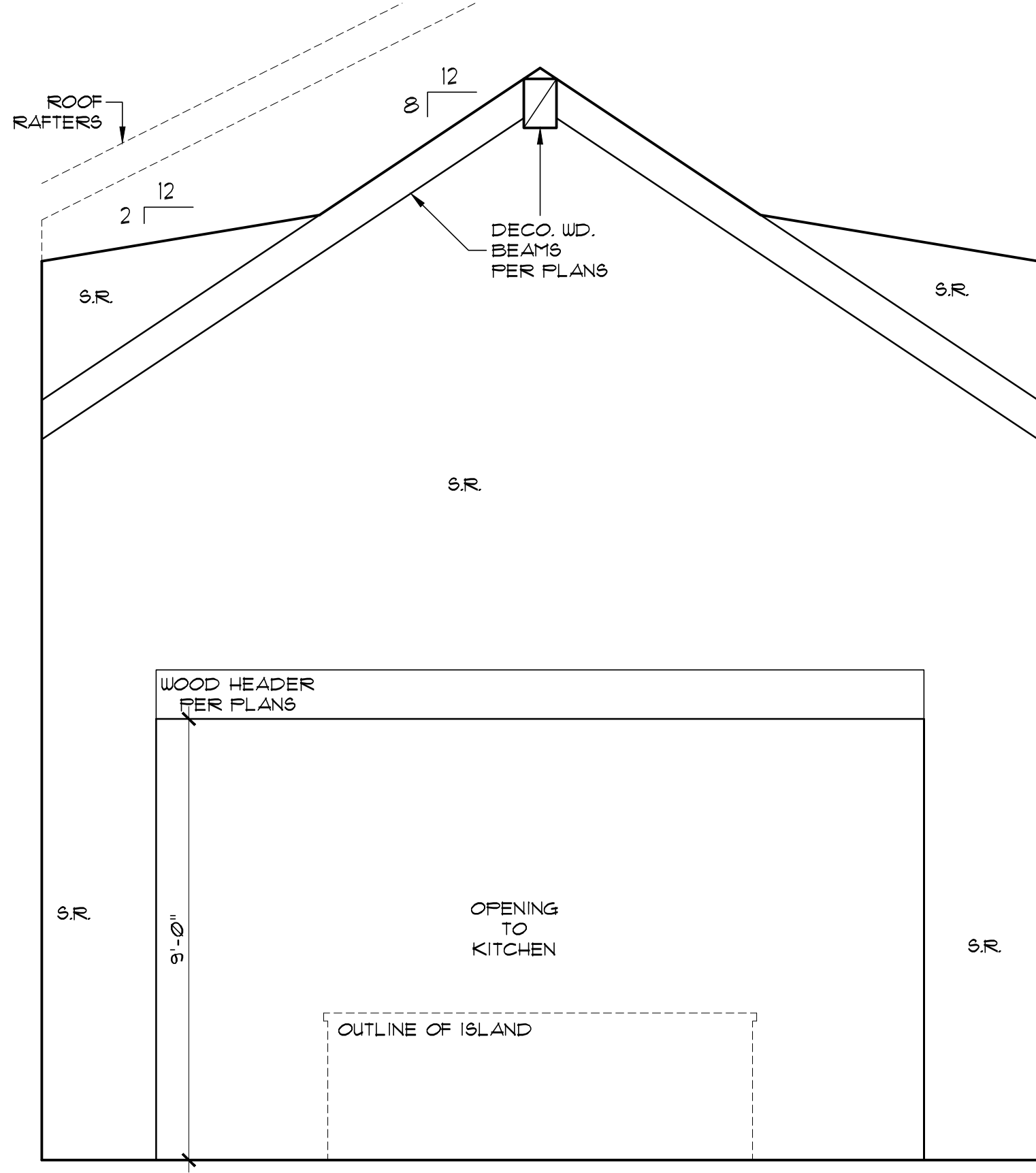
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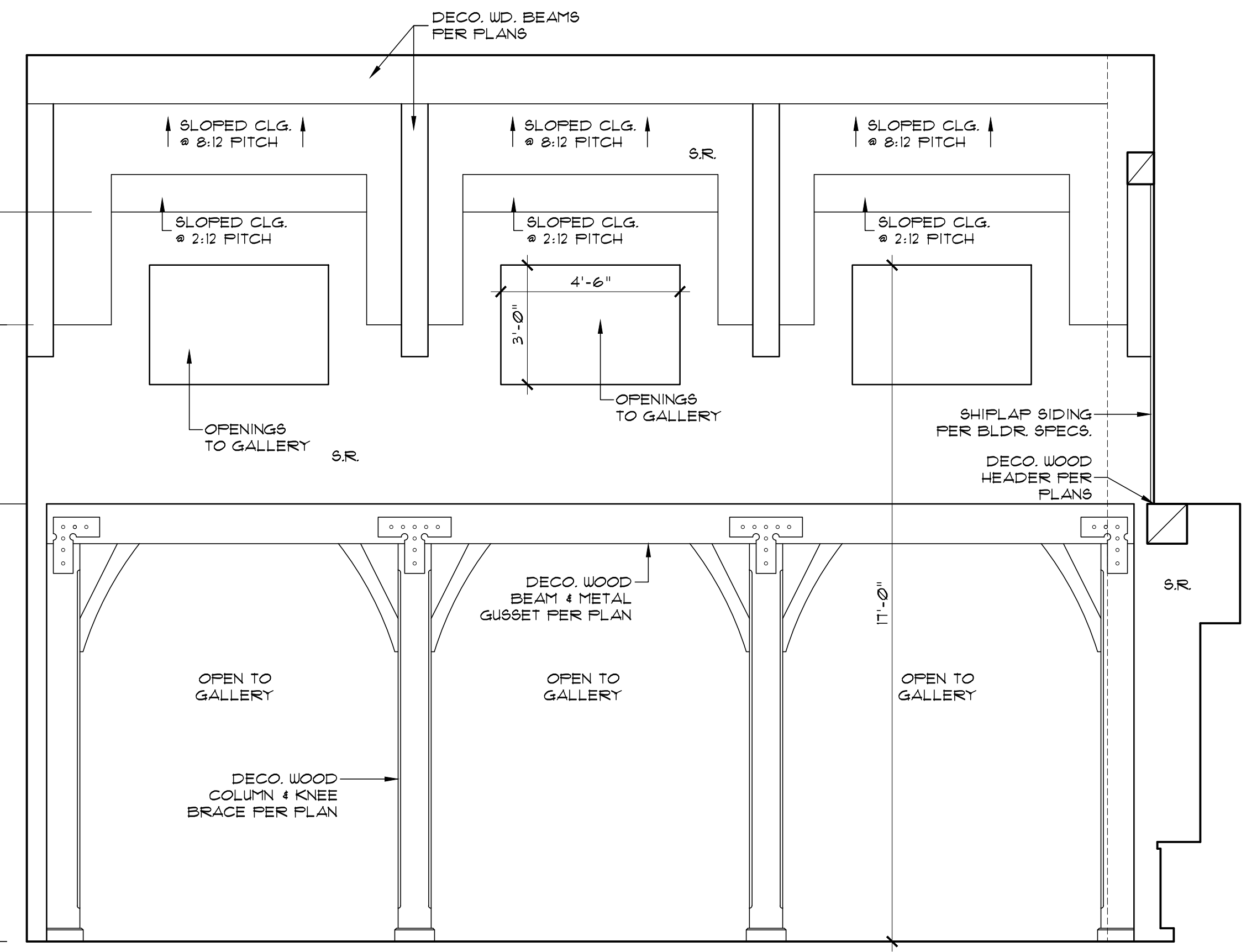
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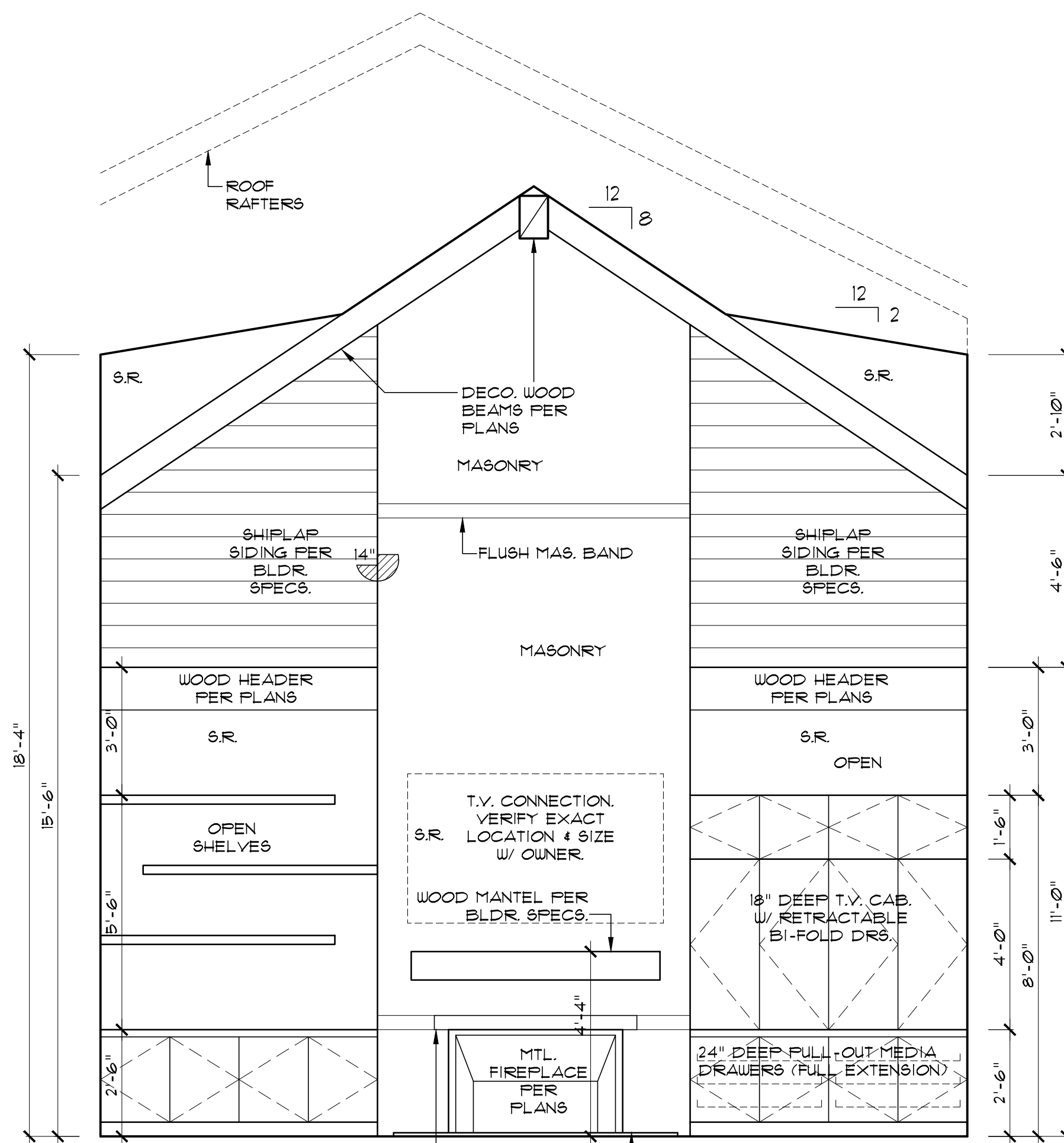
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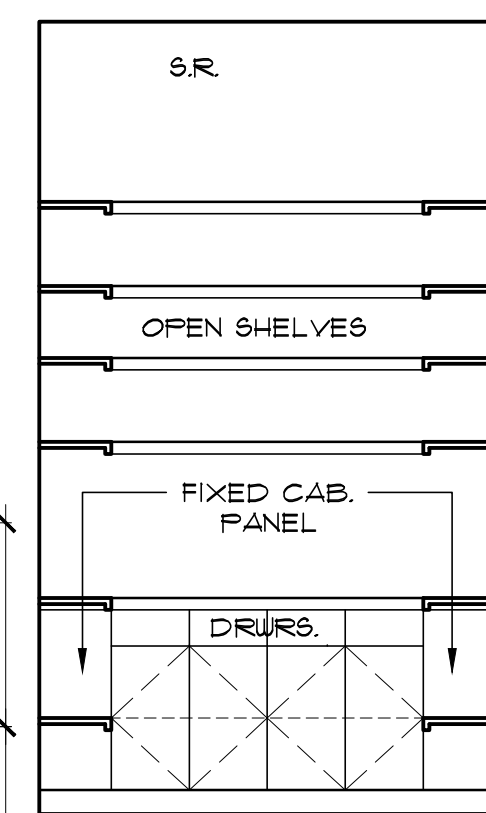
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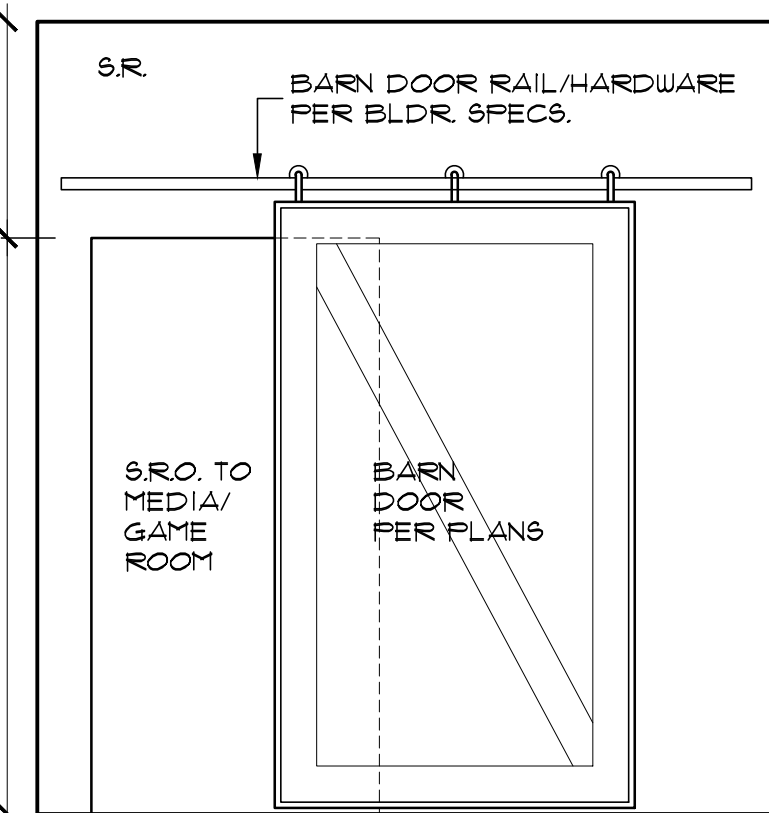
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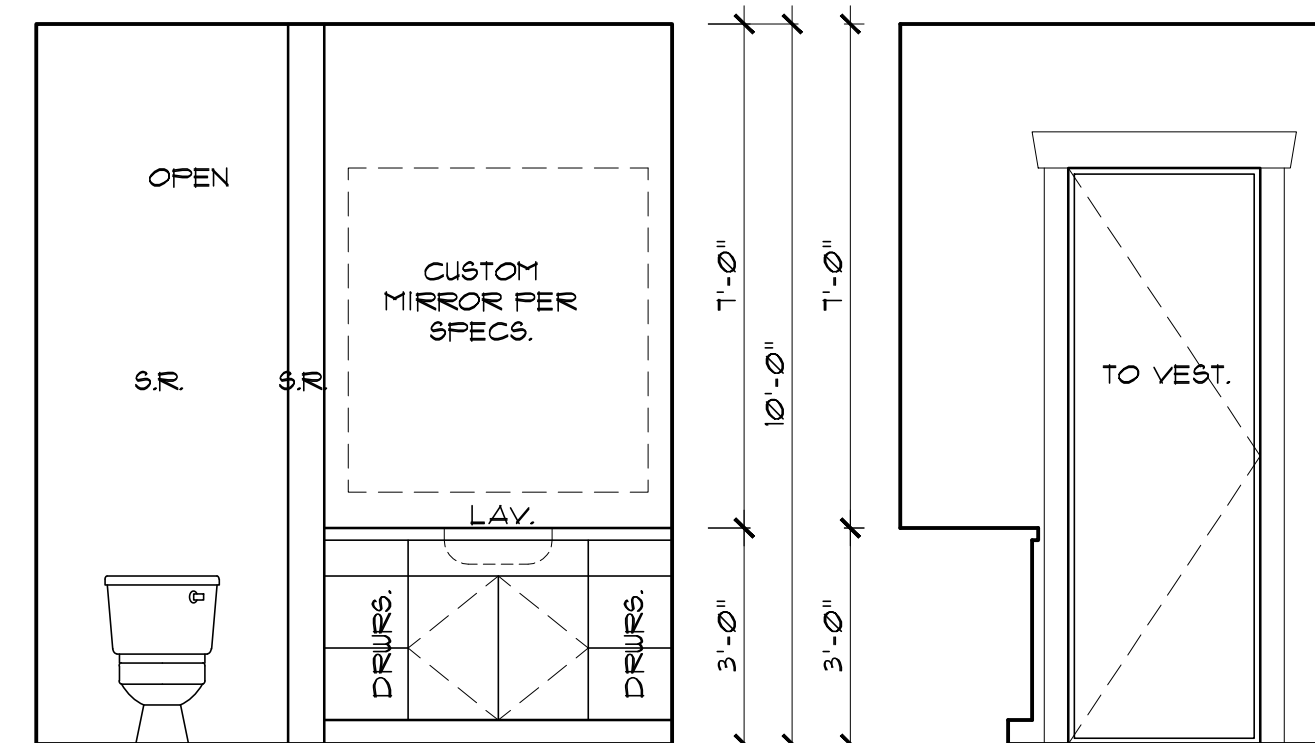
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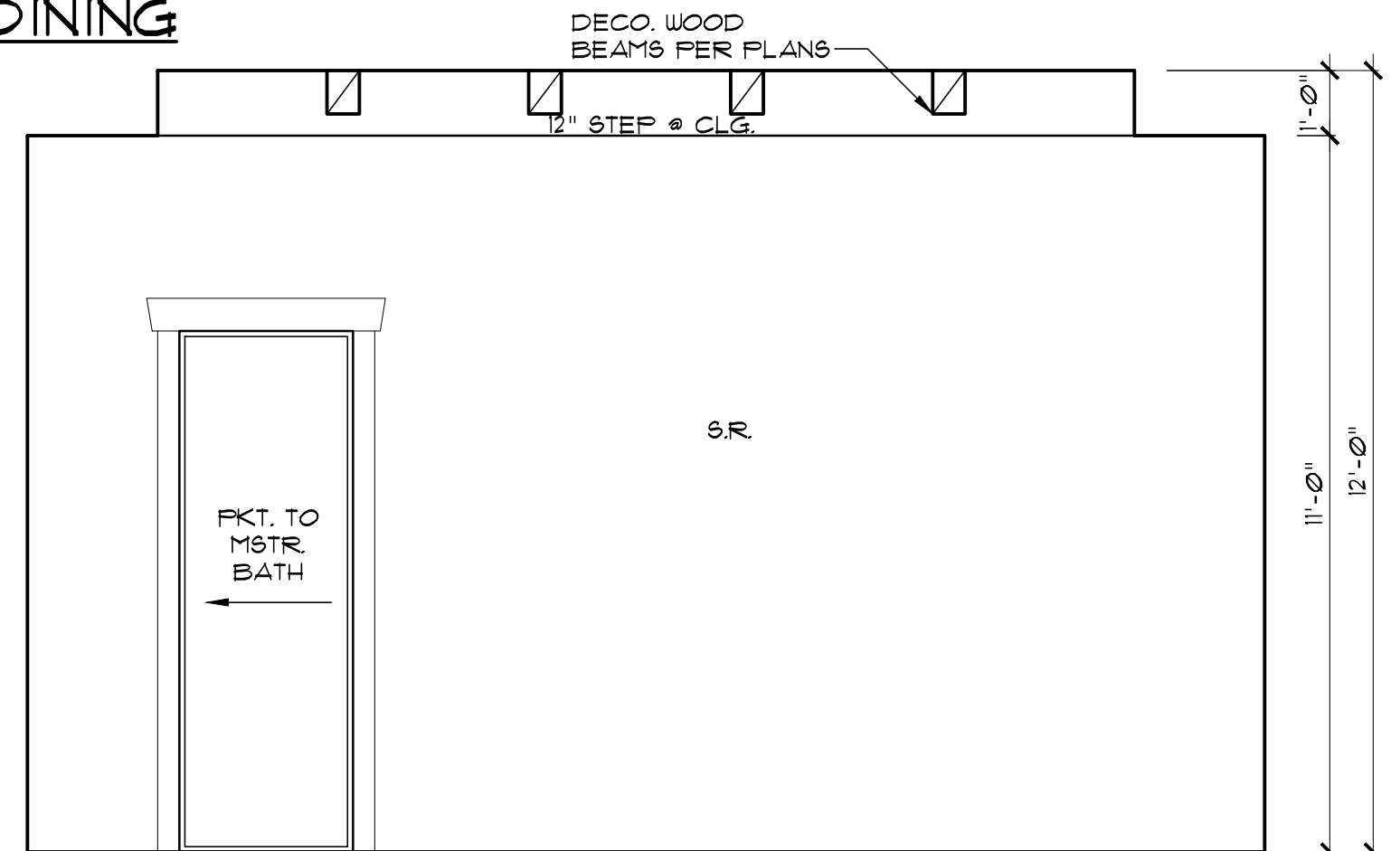
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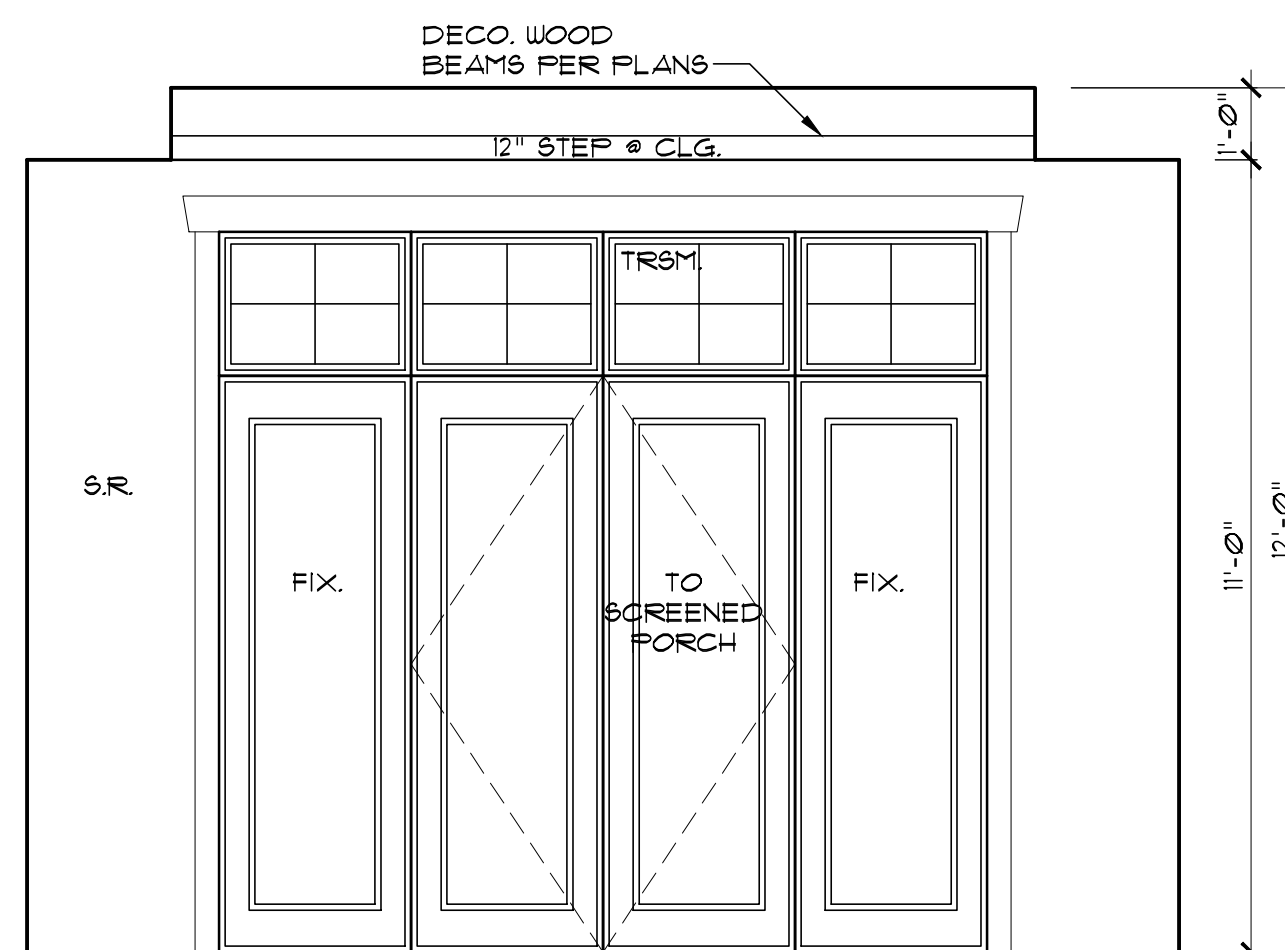
38 HALL



39 N/A 40 POWDER RM.



41 POWDER RM. 42 MASTER SUITE



43 MASTER SUITE

### GENERAL INTERIOR ELEVATION NOTES

- 1) WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
- 2) STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
- 3) STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
- 4) VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER.
- 5) LAVATORIES AND SINKS SHOWN DO NOT NECESSARILY REFLECT THE ACTUAL SIZE OF THE FIXTURE SELECTED. CABINET MAKER TO VERIFY WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- 6) APPLIANCES SHOWN DO NOT NECESSARILY REFLECT THE ACTUAL SIZE OF THE APPLIANCE SELECTED. CABINET MAKER TO VERIFY WITH BUILDER/DESIGNER/OWNER FOR ACTUAL APPLIANCE STYLE AND SIZE PRIOR TO COMMENCING THE JOB.
- 7) SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
- 8) ALL MIRRORS PER SPECS. MOUNTING HT. TO BE DETERMINED BY BUILDER AND VERIFIED BY OWNER OR INTERIOR DESIGNER.

- 9) CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
- 10) PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- 11) PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW.
- 12) ENTERTAINMENT CABINET / MEDIA CENTER. CABINET MAKER TO VERIFY CABINET WILL ADEQUATELY ACCOMMODATE OWNERS PROPOSED TV & AUDIO / VIDEO EQUIPMENT. UNO. DRAWERS TO BE EXTENDIBLE "FULL-OUT" FOR EASY ACCESS TO REAR OF COMPONENTS/EQUIPMENT. PROVIDE THRUHOLES & GROMMETS AS REQ'D. FOR CABLE CONNECTIONS.
- 13) TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- 14) CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER SELECTIONS.
- 15) SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.
- 16) ALL MEDICINE CABINETS TO BE PER SPECS. AND MOUNTED PER MANUFACTURERS RECOMMENDATIONS.

INTERIOR  
ELEVATIONS  
SCALE 3/8" = 1'-0"



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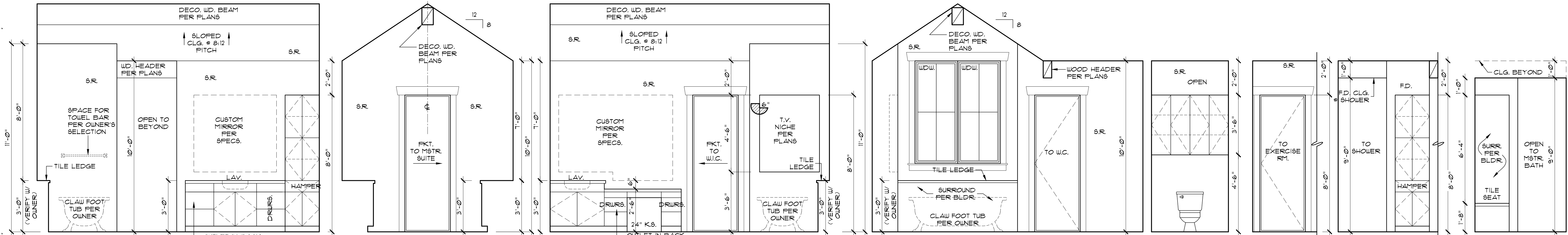
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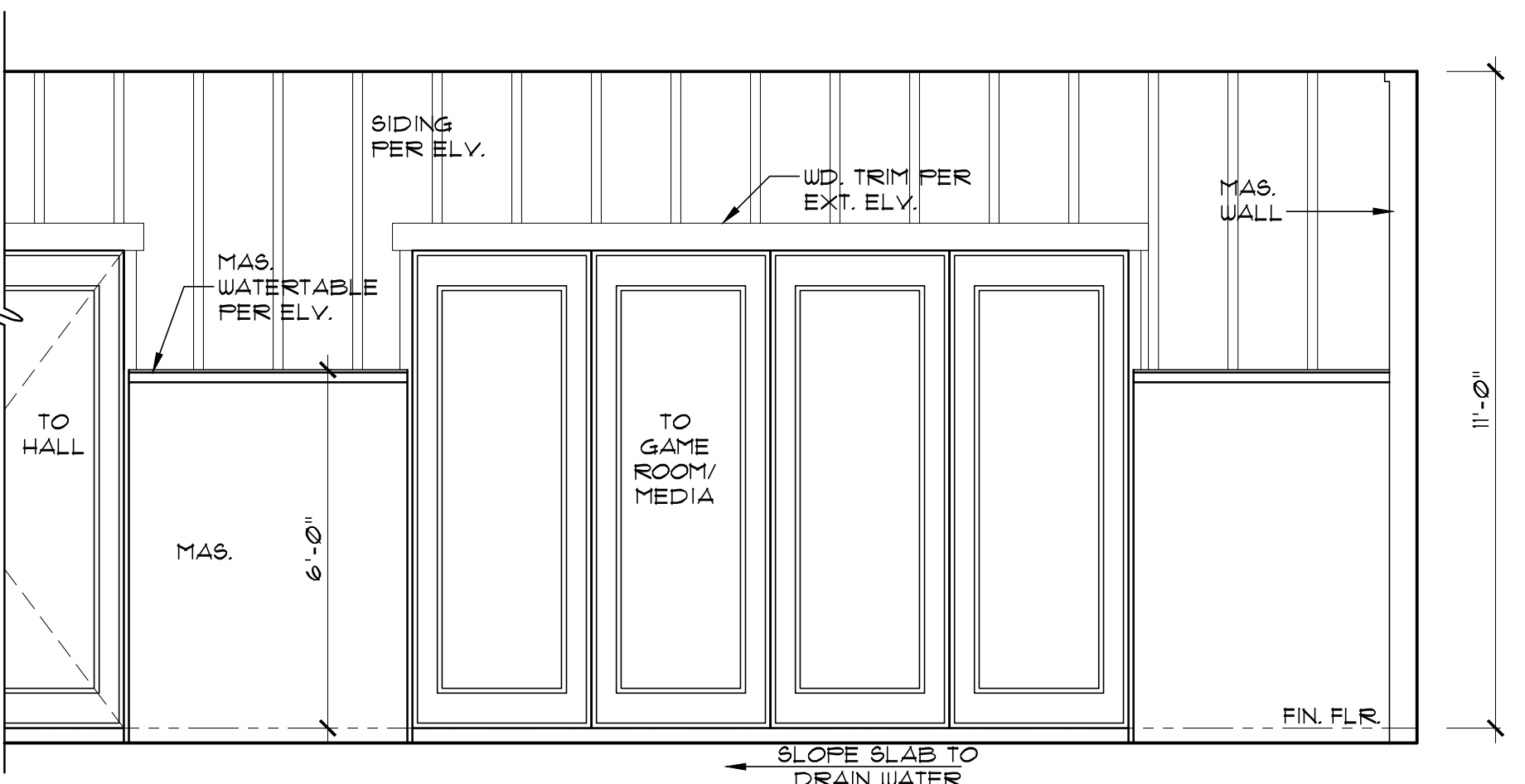
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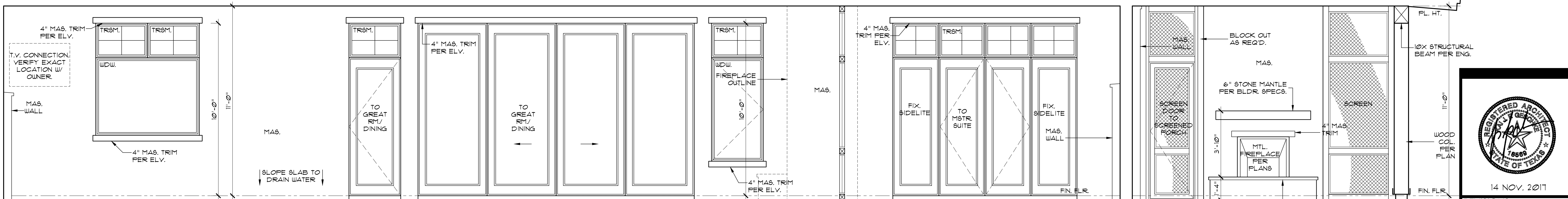
44 MASTER BATH 45 MASTER BATH 46 MASTER BATH 47 MASTER BATH 48 MSTR. BA. 49 M. BA. 50 MSTR. BA. 51 MSTR. BA.



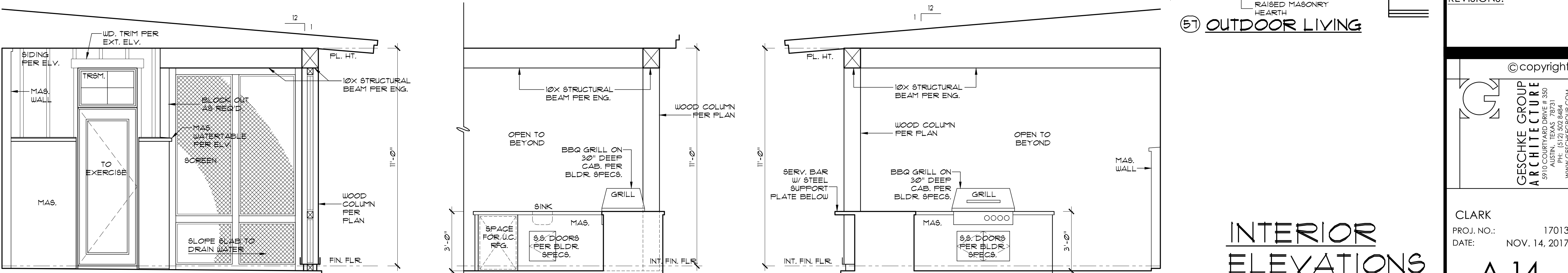
52/53 MSTR. CLST. 52B MSTR. CLST. 53A MSTR. CLST. 53B MSTR. CLST. 54 FRONT PORCH



55 OUTDOOR DINING & GRILL



56 OUTDOOR LIVING/ SCREENED PORCH 57 OUTDOOR LIVING



58 OUTDOOR DINING & GRILL 59 OUTDOOR DINING & GRILL

INTERIOR ELEVATIONS  
SCALE 3/8" = 1'-0"

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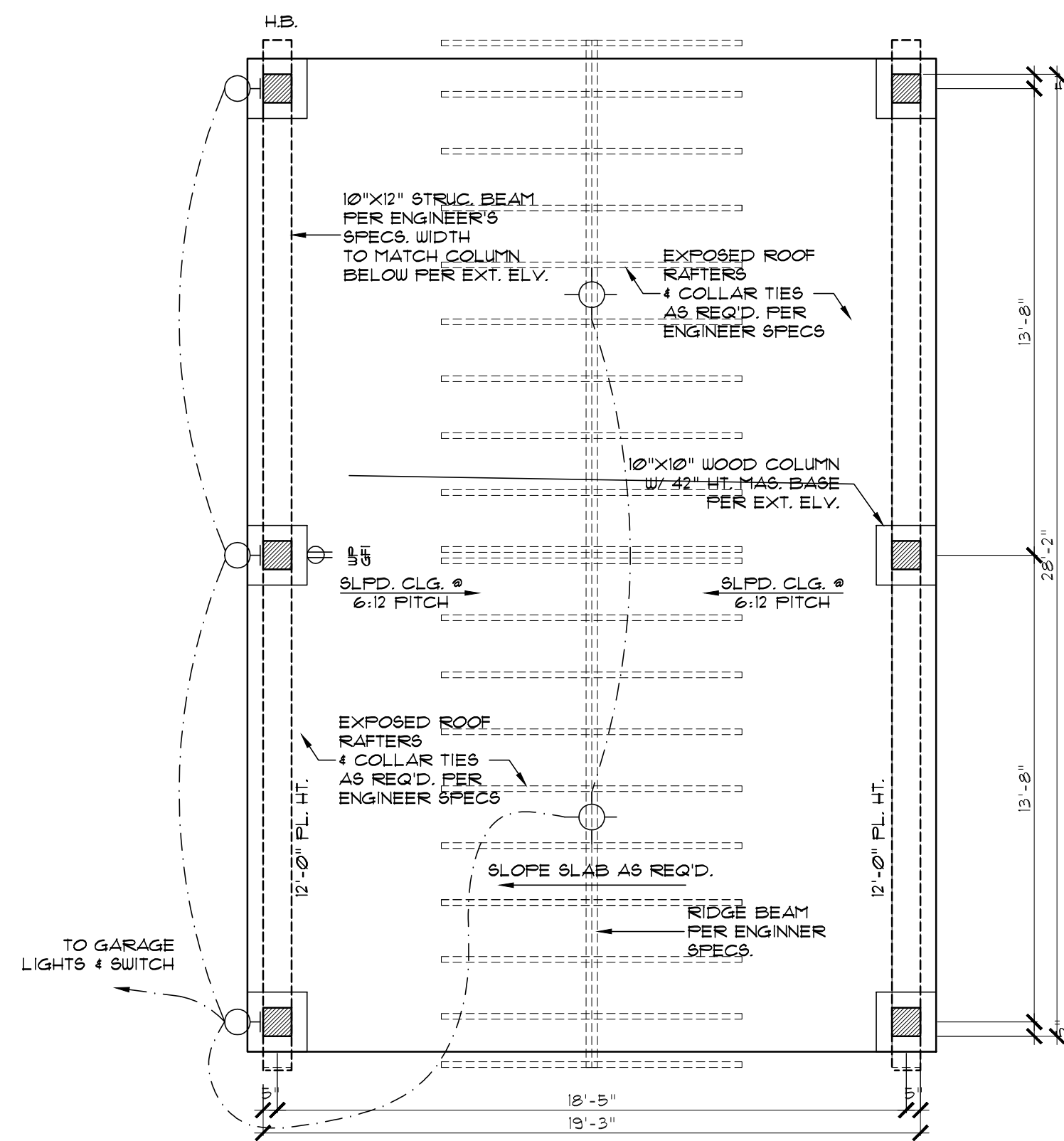
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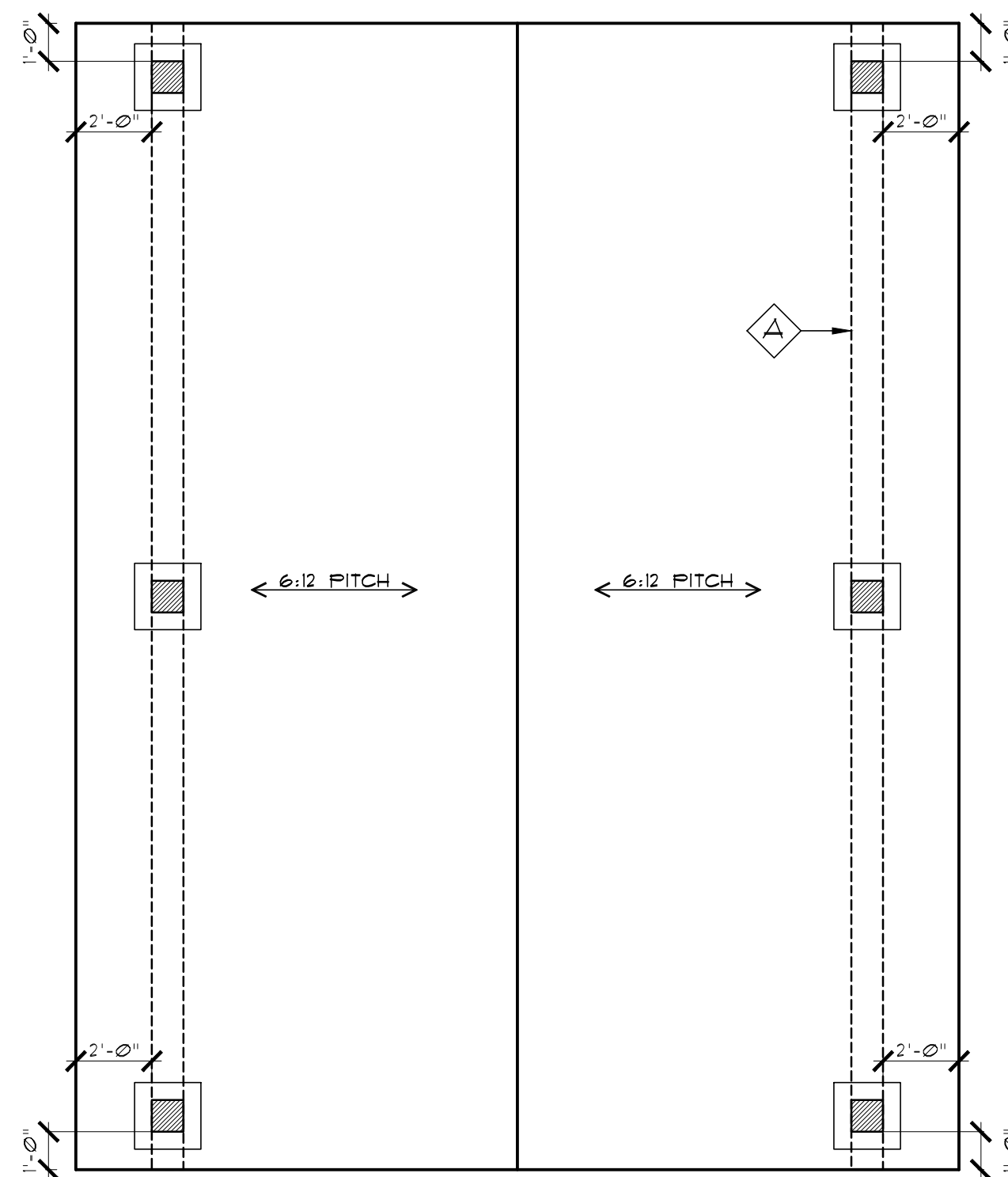
**A-14**

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**FLOOR / ELECTRICAL PLAN**  
SCALE 1/4" = 1'-0"

| SQUARE FOOTAGE CALCS. |     |
|-----------------------|-----|
| DETACHED CARPORT      | 586 |



**SCHEMATIC ROOF PLAN**  
SCALE 1/4" = 1'-0"

#### PITCH & OVERHANG

ROOF PITCH: AS NOTED.  
ROOF OVERHANG: AS NOTED.

- 1) ROOF OVERHANG AND PITCH TO REMAIN CONSTANT UNLESS NOTED OTHERWISE ON PLAN.
- 2) ALL BEAMS & HEADERS TO BE SIZED BY BUILDER OR ENGINEER. BUILDER TO VERIFY ALL BEAM SIZING FOR CODE AND STRUCTURAL COMPLIANCE.
- 3) USE SIMPSON-STRONG TIE CONNECTORS FOR STRUC. SUPPORT.

#### SCHEMATIC ROOF SPECIAL NOTES

10'x STRUCTURAL BEAM PER ENGINEER'S SPECS.

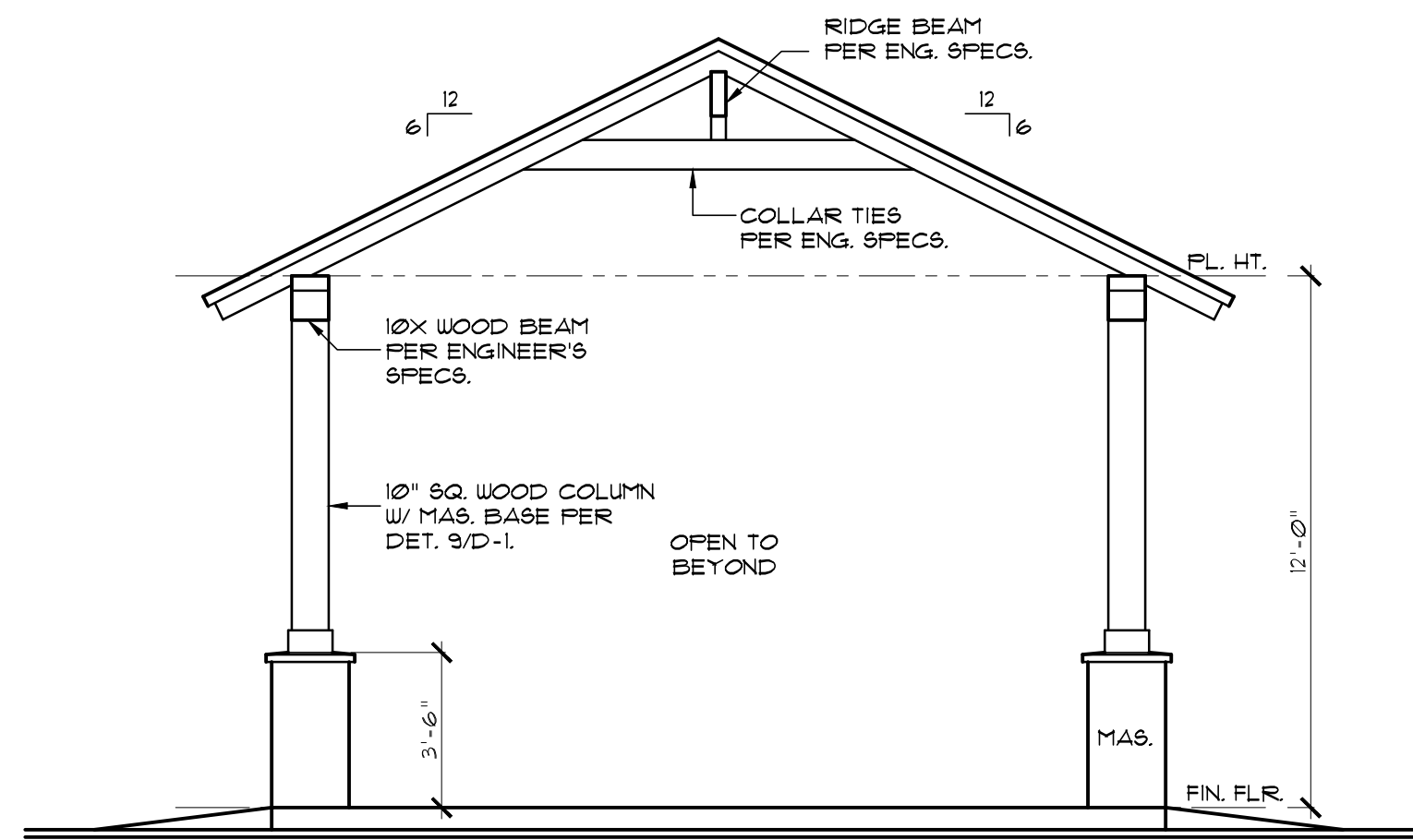
#### ELECTRICAL LEGEND

- SWITCH
- SWITCH - 3 WAY
- SWITCH - 4 WAY
- SWITCH - DIMMER
- SWITCH - GFI
- SWITCH - WATERPROOF
- SWITCH - PUSH BUTTON (AIR)
- PHONE OUTLET
- FLR PHONE OUTLET
- FLOOR OUTLET
- AV-MEDIA OUTLET (2-COAX 2-CAT 5 PHONE LINE)
- PUSHBUTTON FOR GAR. DR. OPENER
- JUNCTION BOX
- OUTLET - 110V DUPLEX
- OUTLET - 110V WATERPROOF
- OUTLET - 220V
- SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY
- VENT/EXHAUST
- VENT/LIGHT/HEAT COMBO

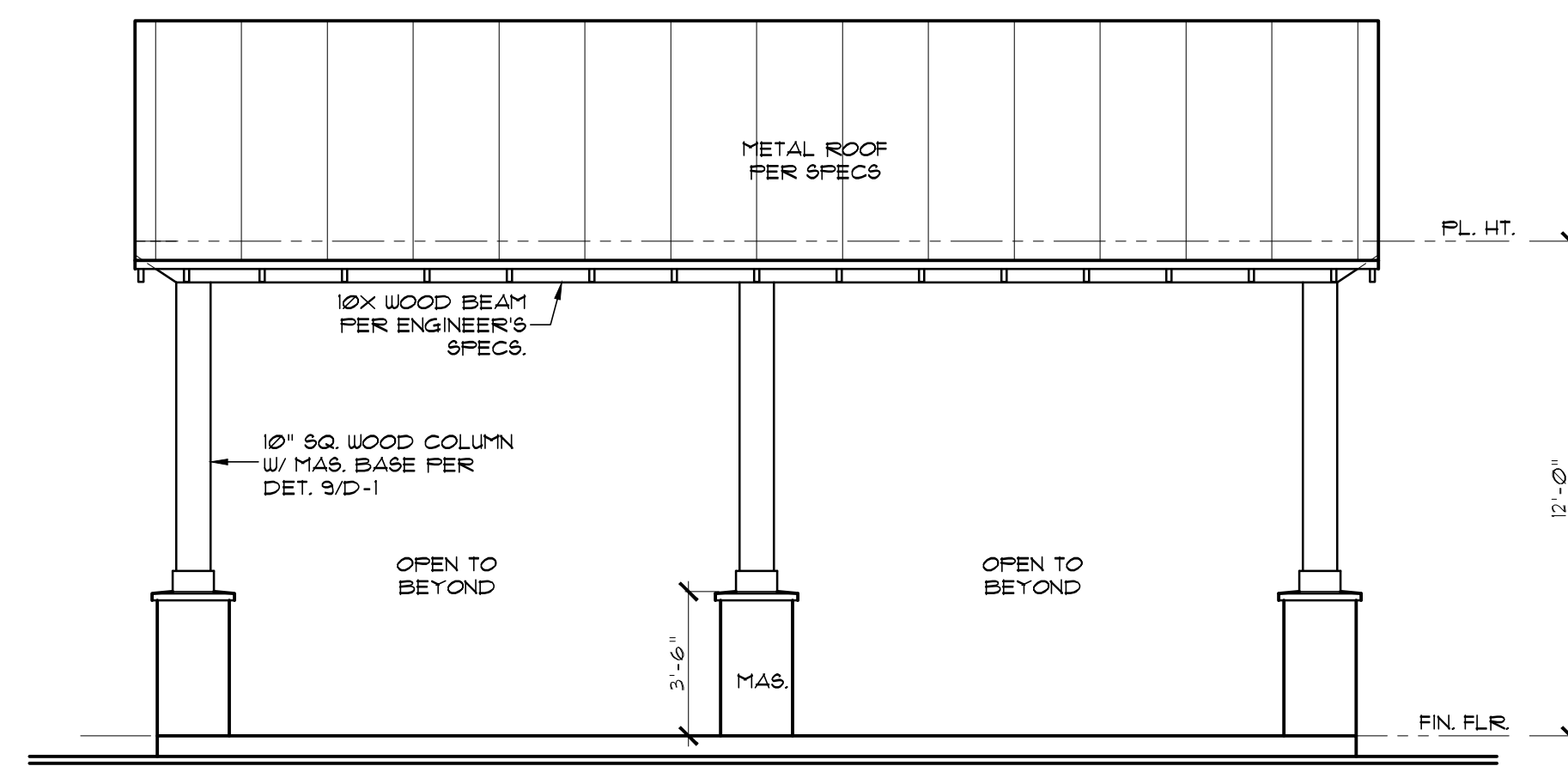
- OUTLET AT CLG. FOR GARAGE DOOR OPENER
- EXT. DOOR BELL
- CHIMES
- THERMOSTAT
- SMOKE DETECTOR & CARBON-MONOXIDE DETECTOR COMBO.
- HEAT DETECTOR
- SPEAKER
- WALL SPEAKER
- ELEC. PANEL
- NETWORK PANEL
- GAS VALVE
- GAS KEY
- HANGING LIGHT
- CEILING MOUNTED FIXTURE
- RECESSED CAN LIGHT
- RECESSED CAN LIGHT FOR VAULTED CLG.
- RECESSED CAN LIGHT DIRECTIONAL
- VENT/LIGHT COMBO
- FLOOD LIGHT (SHIELDED)
- HEAT LITE

- RECESSED CAN LIGHT WATERPROOF
- WALL MOUNT FIXTURE
- 4" RECESSED CAN LIGHT
- SPECIALTY LT. TYPE-A
- SPECIALTY LT. TYPE-B
- SPECIALTY LT. TYPE-C DIRECTIONAL SPOT.
- FLUOR. LIGHT
- FLUOR. LIGHT 2' X 4'
- FLUOR. LIGHT 1' X 4'
- CABINET LT. - ABV. CAB.
- CABINET LT. - BLW. CAB.
- CABINET LT. - ABV. & BLW. CAB.
- COVE LIGHTING IN CEILING
- TRACK LIGHT
- CEILING FAN (WITHOUT LIGHT KIT)
- CLG. FAN W/ LIGHT KIT

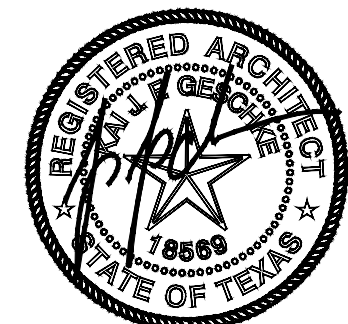
NOTE TO ELECTRICIAN: ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.



**FRONT / REAR ELEVATION (NORTH / SOUTH)**  
SCALE 1/4" = 1'-0"



**SIDE ELEVATION (EAST / WEST)**  
SCALE 1/4" = 1'-0"



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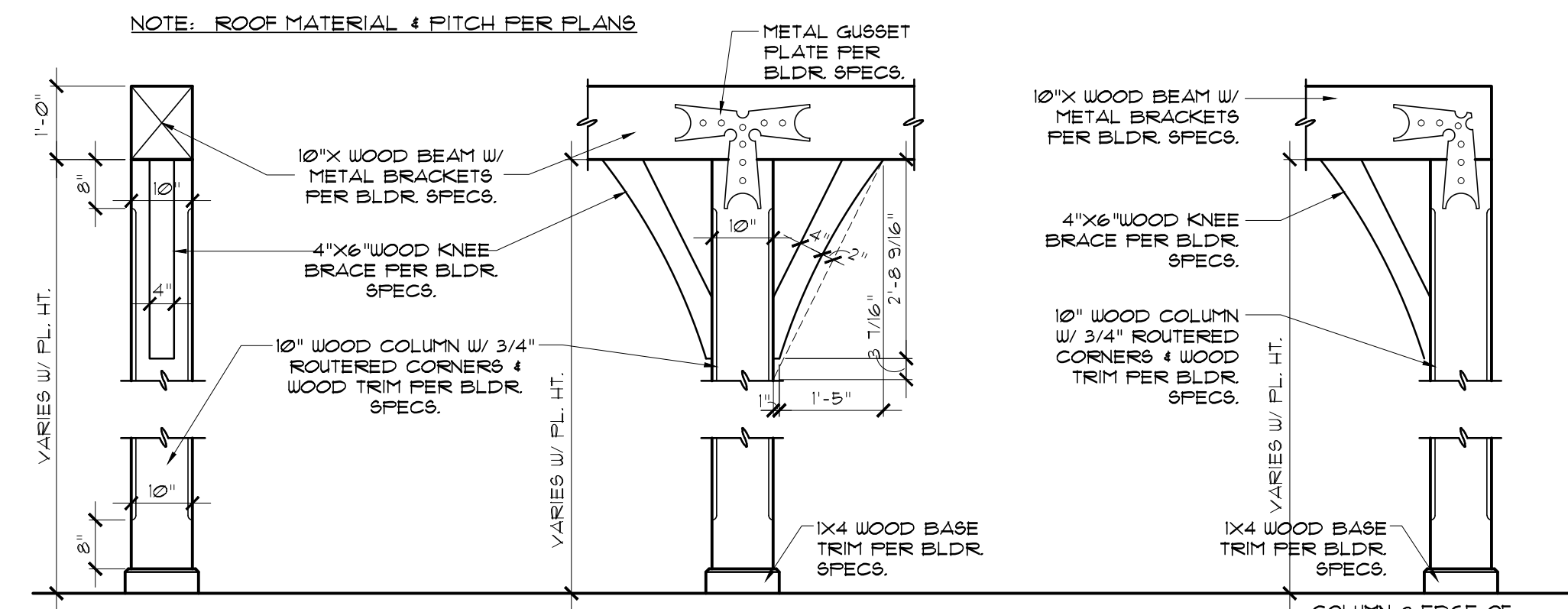
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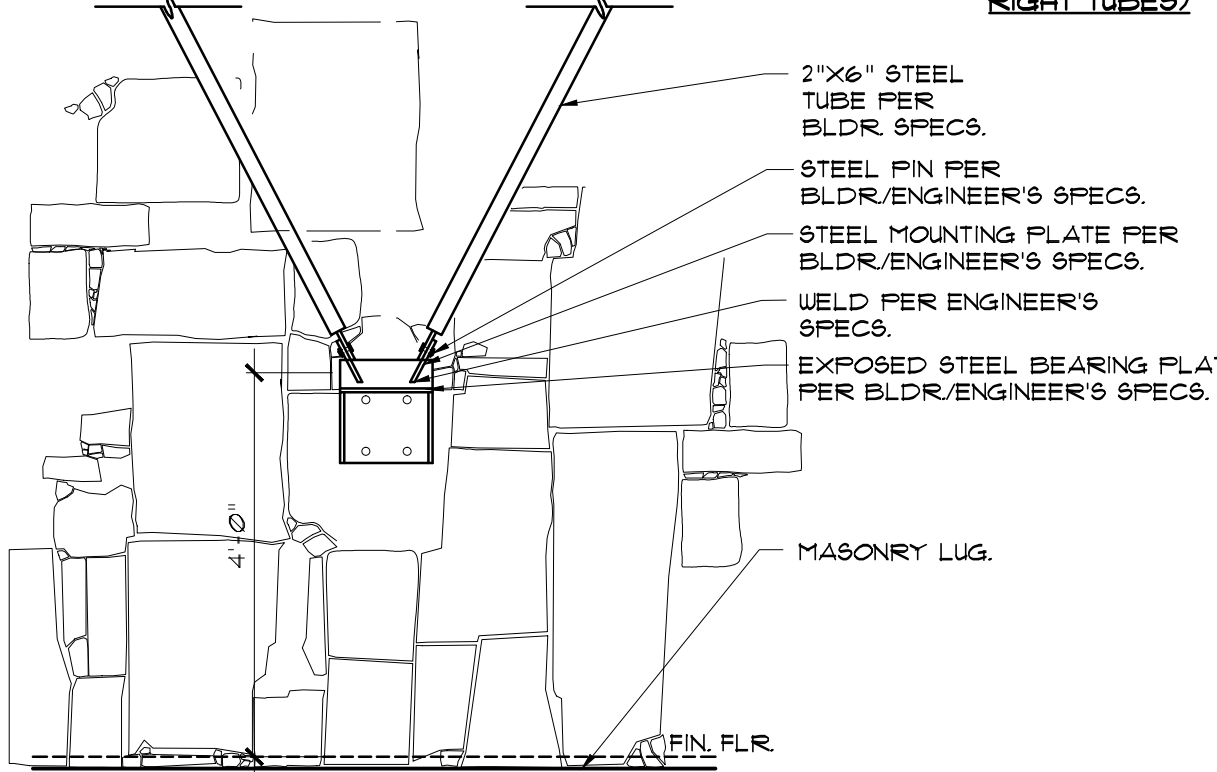
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5910 COURTYARD DRIVE # 350  
AUSTIN, TEXAS 78721  
PH: (512) 502-8464  
WWW.GESCHKEGROUP.COM

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PROJ. NO.: 17013  
DATE: NOV. 14, 2017

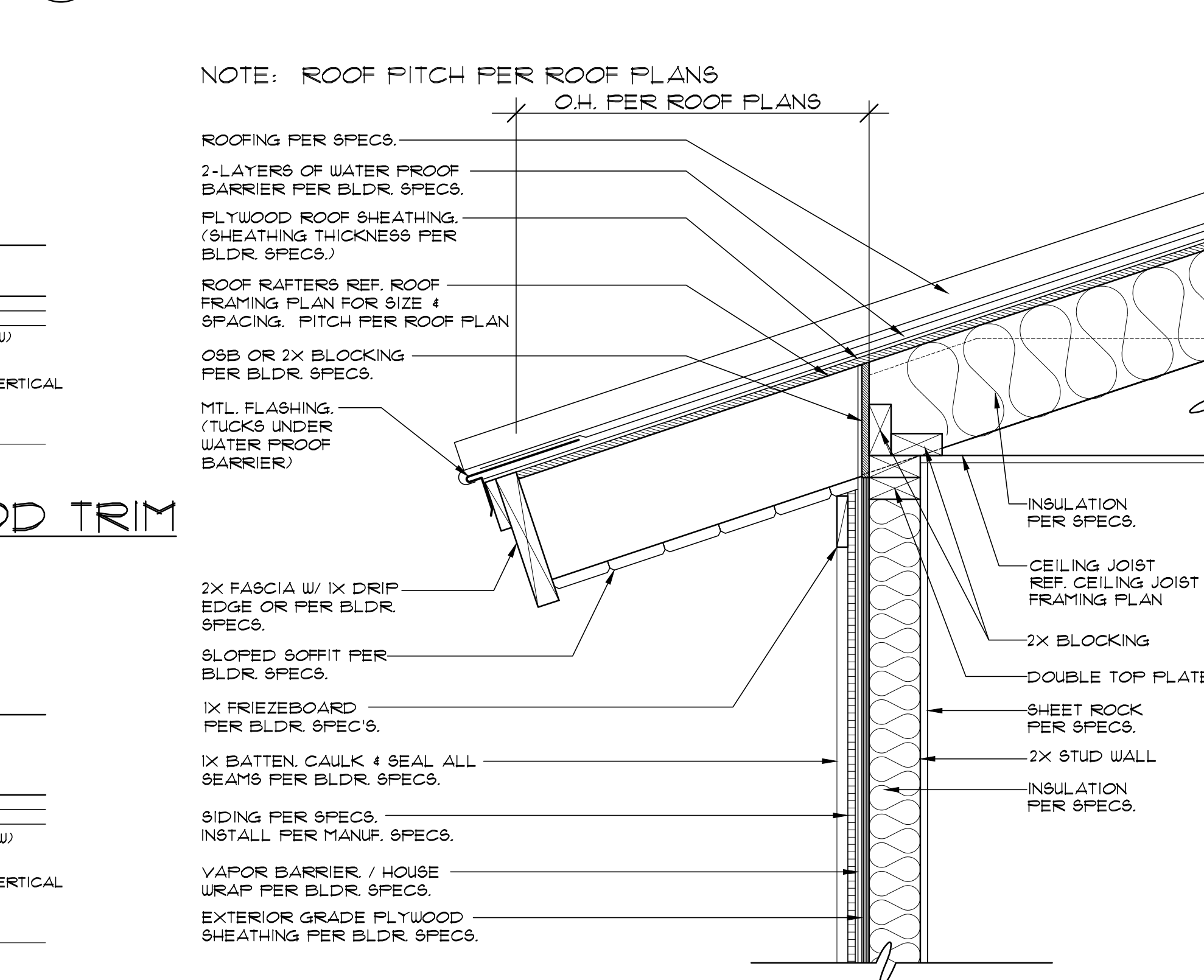
**C-1**  
1 OF 1



11 10" SQUARE WOOD COLUMN  
10" BEAM DTL. (INTERIOR)  
SCALE: 1/2" = 1'-0"

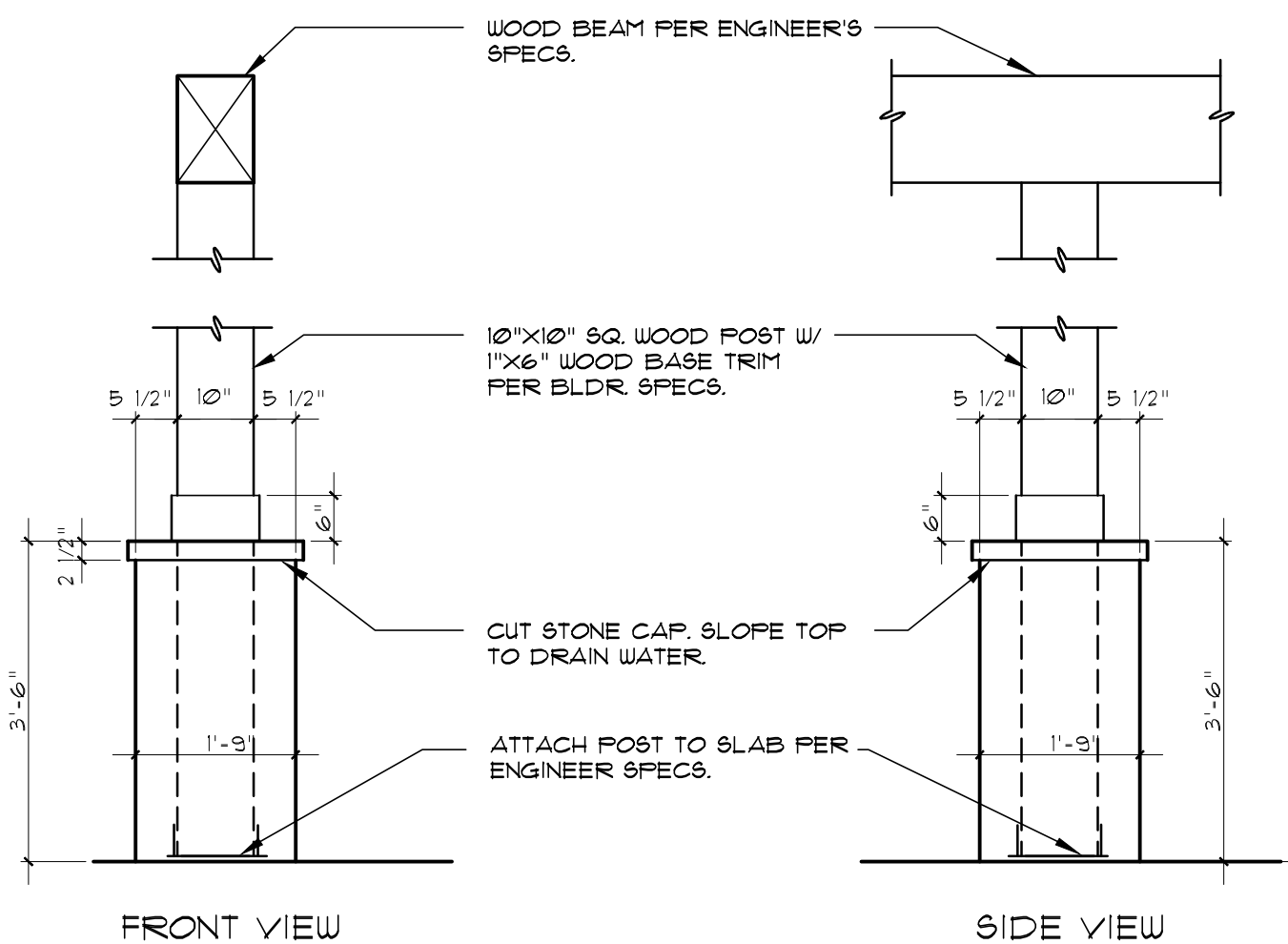


10 TYPICAL EXT. BRACKET & BEAM DETAIL  
SCALE: 1/2" = 1'-0"

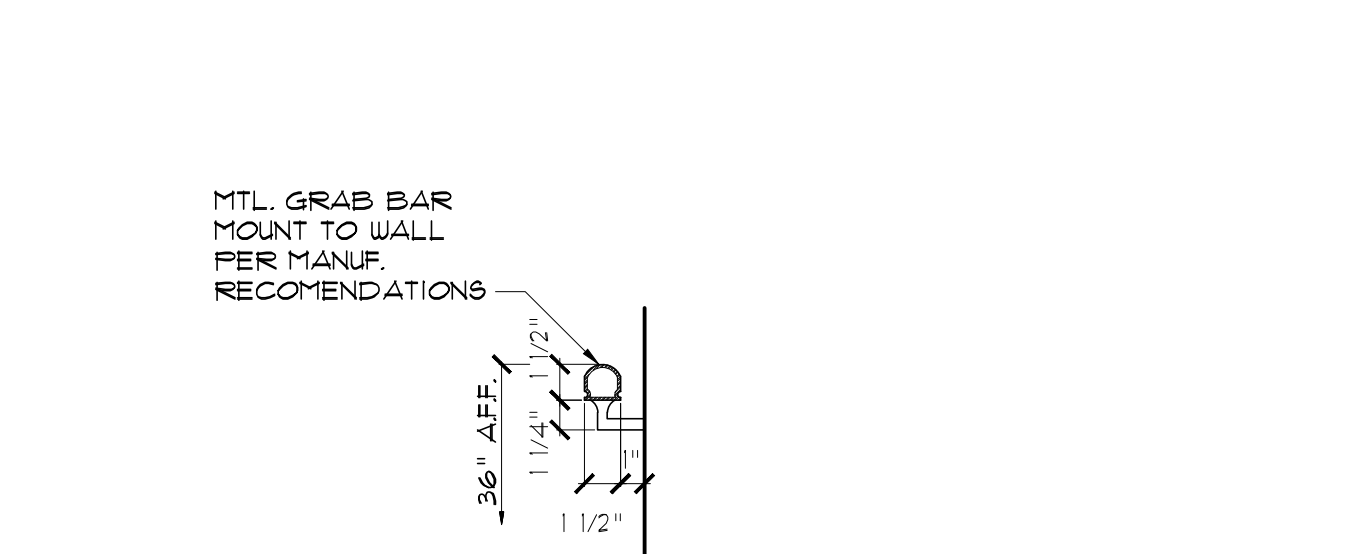


3 FASCIA W/ SLOPED SOFFIT  
& FOAM INSULATION @ BOARD  
& BATTEN SIDING EXT.  
SCALE: 1/2" = 1'-0"

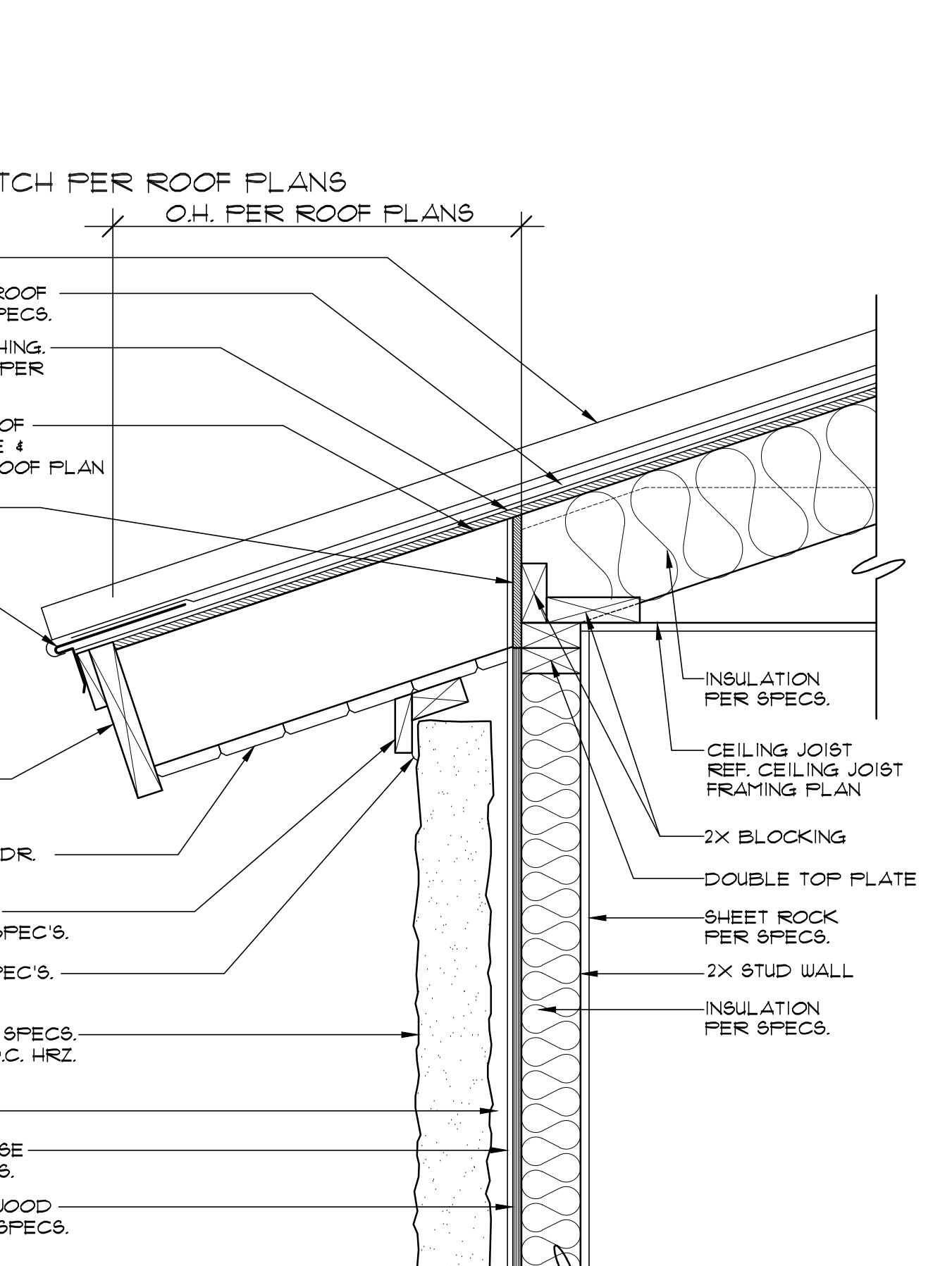
4 WDW. WOOD TRIM  
SCALE: 1/2" = 1'-0"



9 MASONRY COLUMN  
@ CAR PORT  
SCALE: 1/2" = 1'-0"

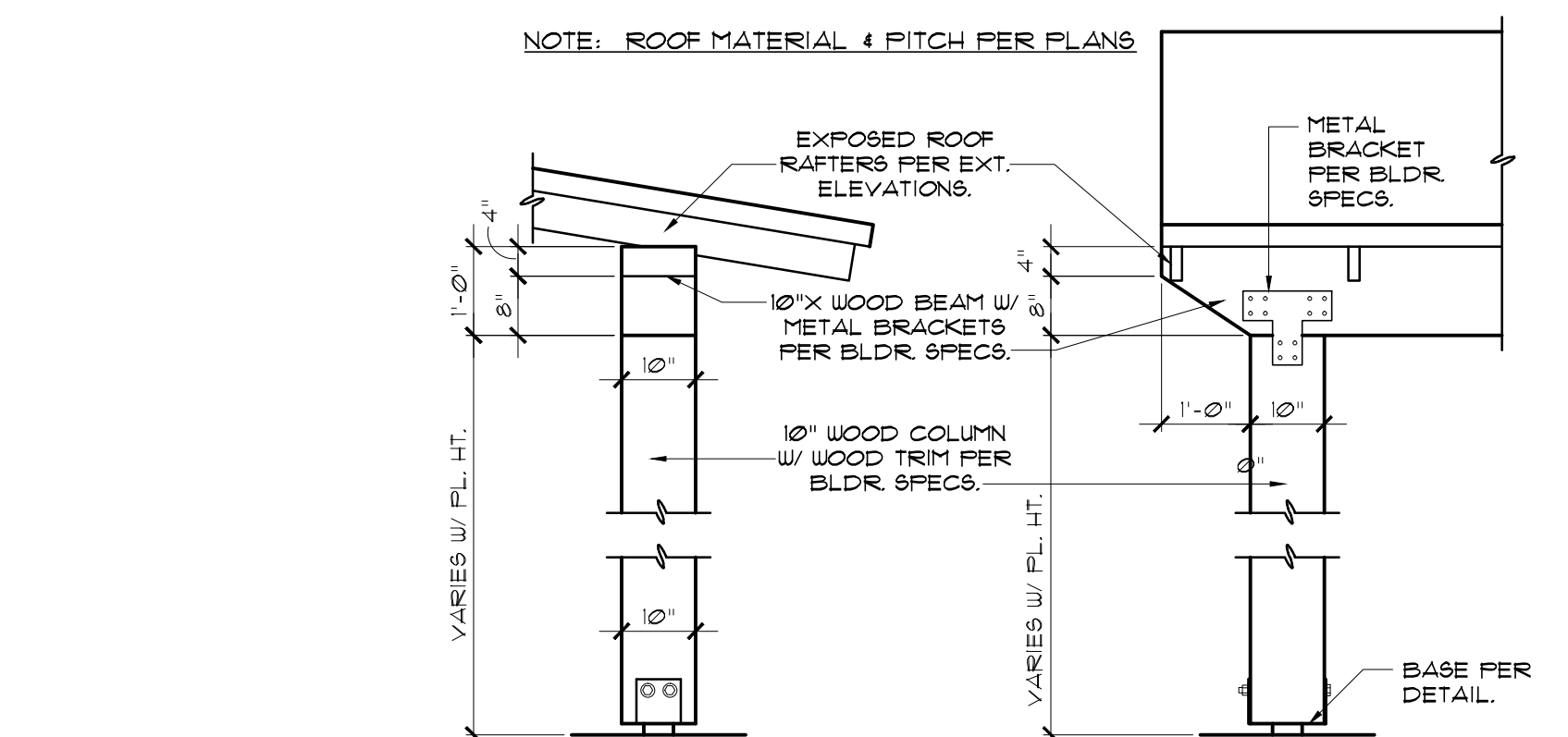


8 RAILING DETAIL  
(TYP.)  
SCALE: 1 1/2" = 1'-0"

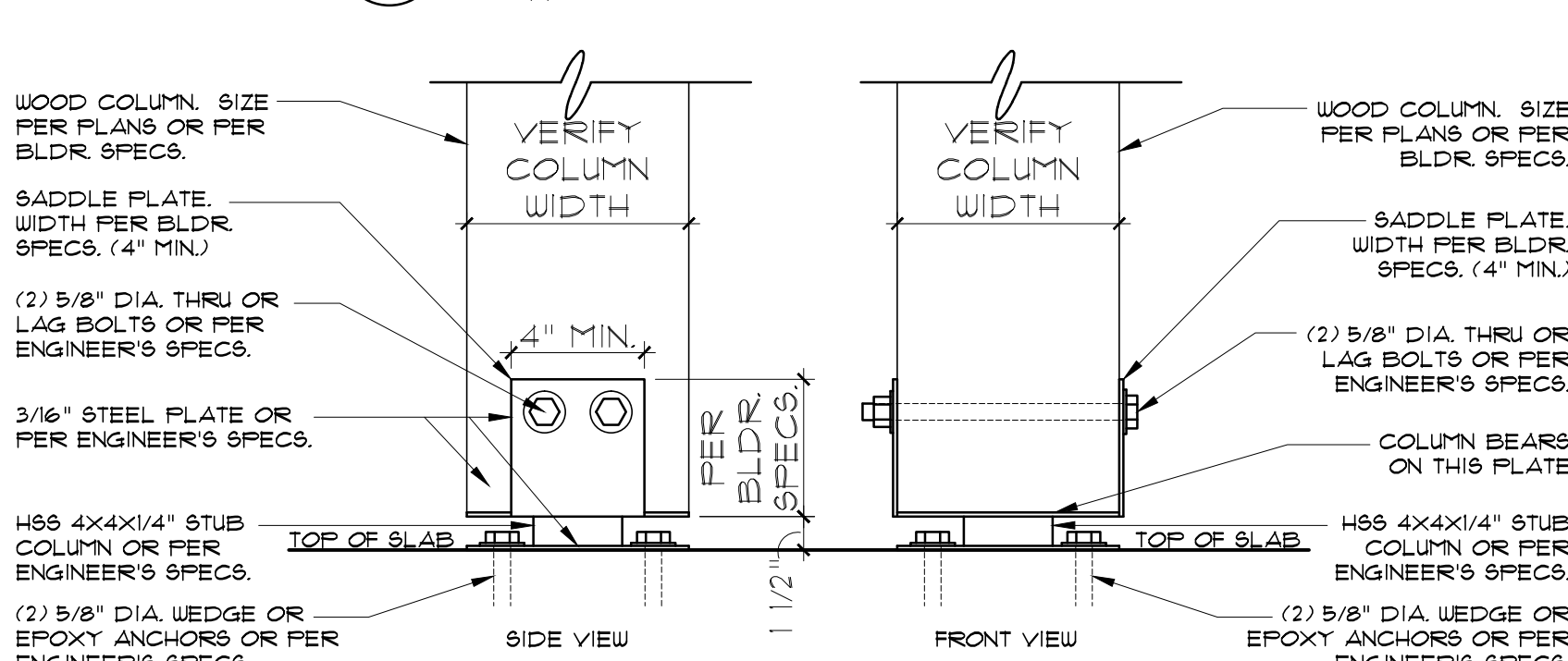


2 FASCIA W/ SLOPED SOFFIT & FOAM  
INSULATION @ MASONRY EXT.  
SCALE: 1/2" = 1'-0"

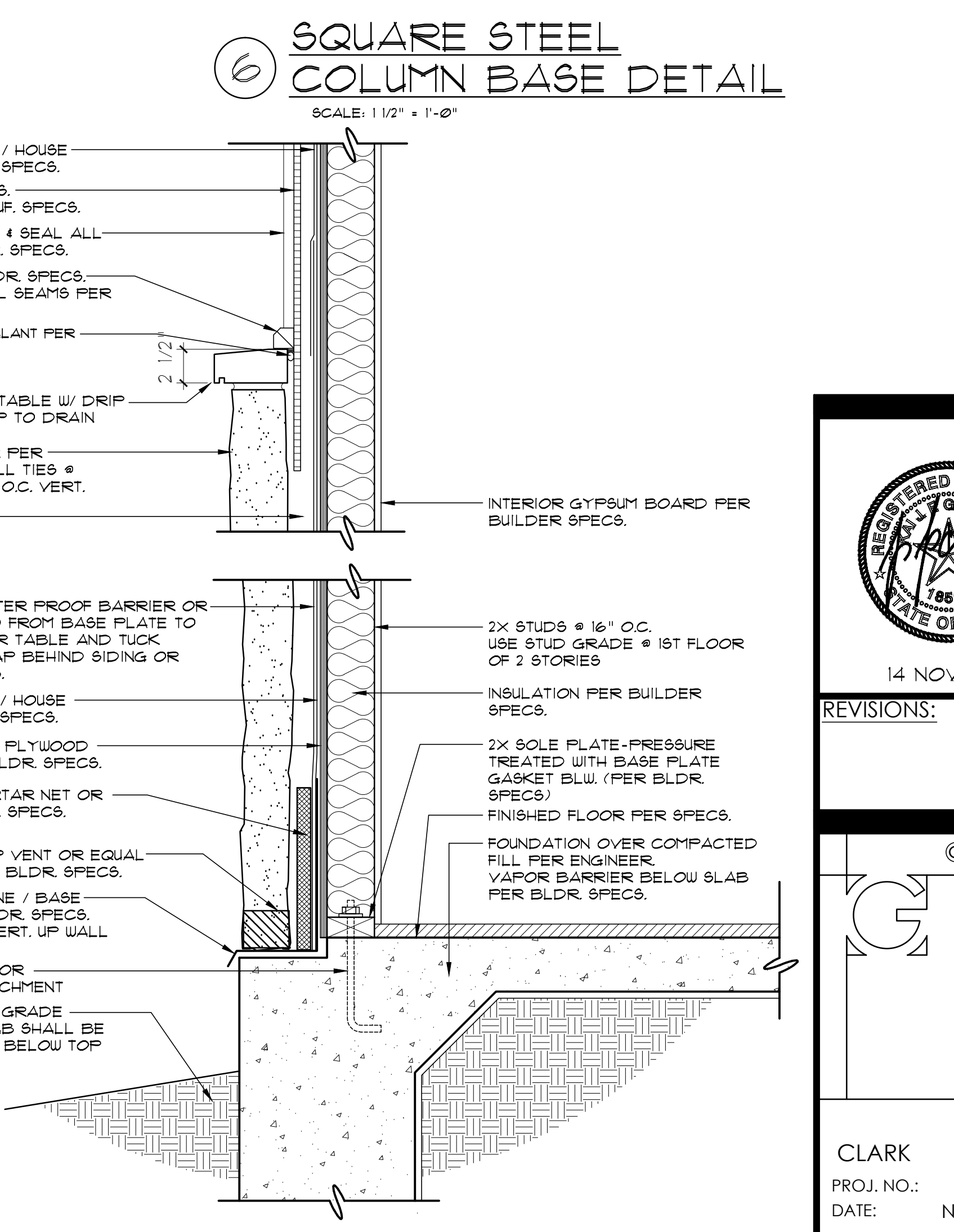
1 STONE / SIDING WALL SECTION @ BASE  
PLATE / WATER TABLE



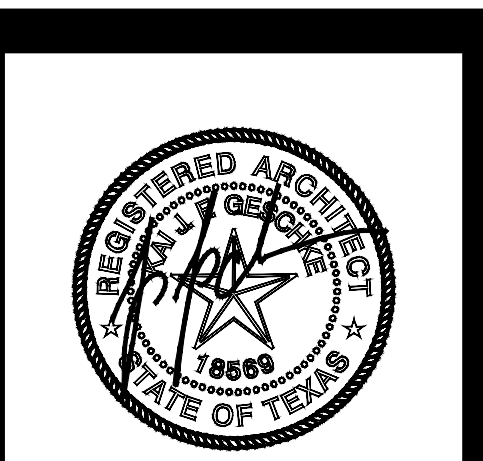
7 TYP. COLUMN & BEAM DTL.  
SCALE: 1/2" = 1'-0"



6 SQUARE STEEL  
COLUMN BASE DETAIL  
SCALE: 1 1/2" = 1'-0"



1 STONE / SIDING WALL SECTION @ BASE  
PLATE / WATER TABLE

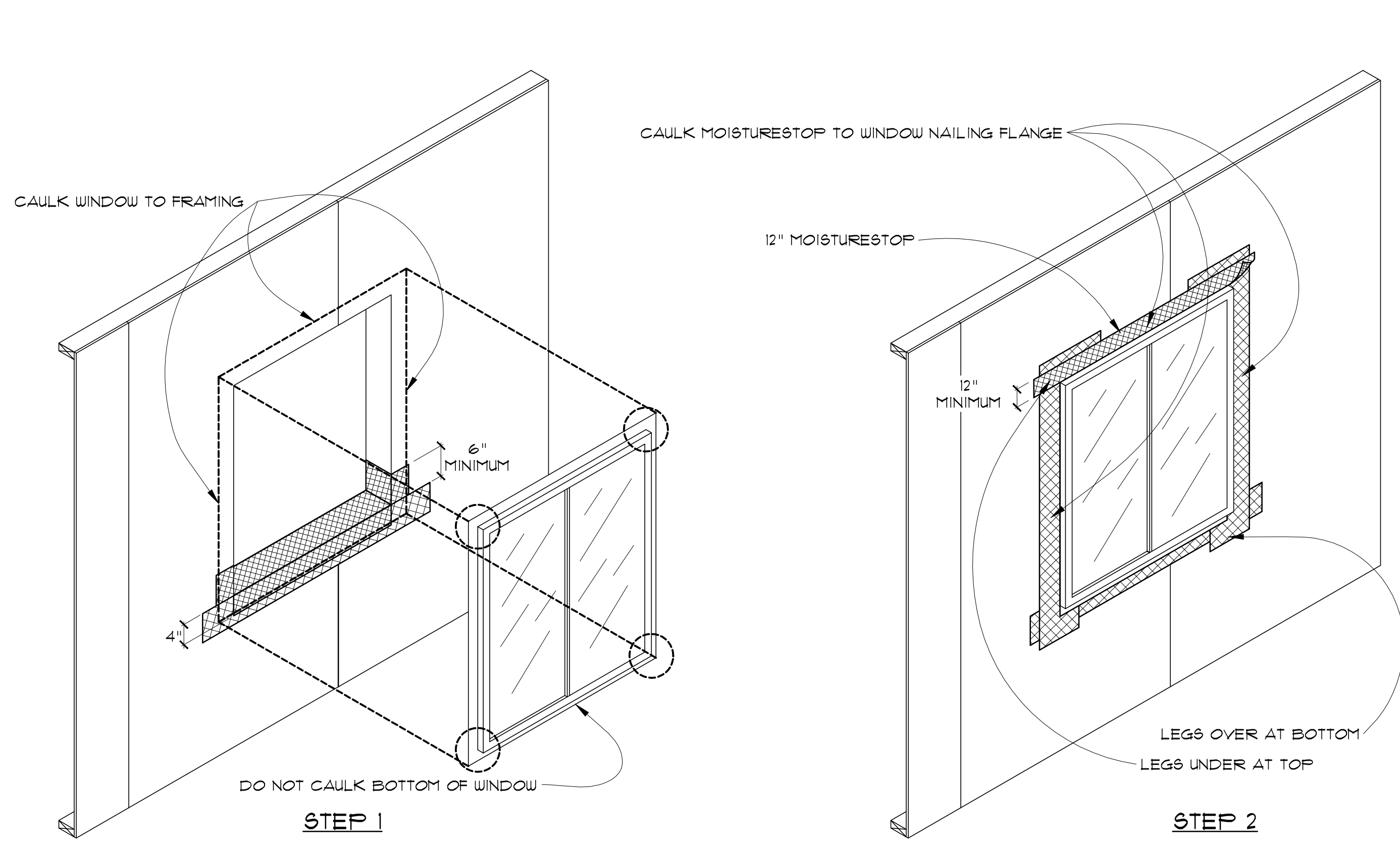


14 NOV. 2017

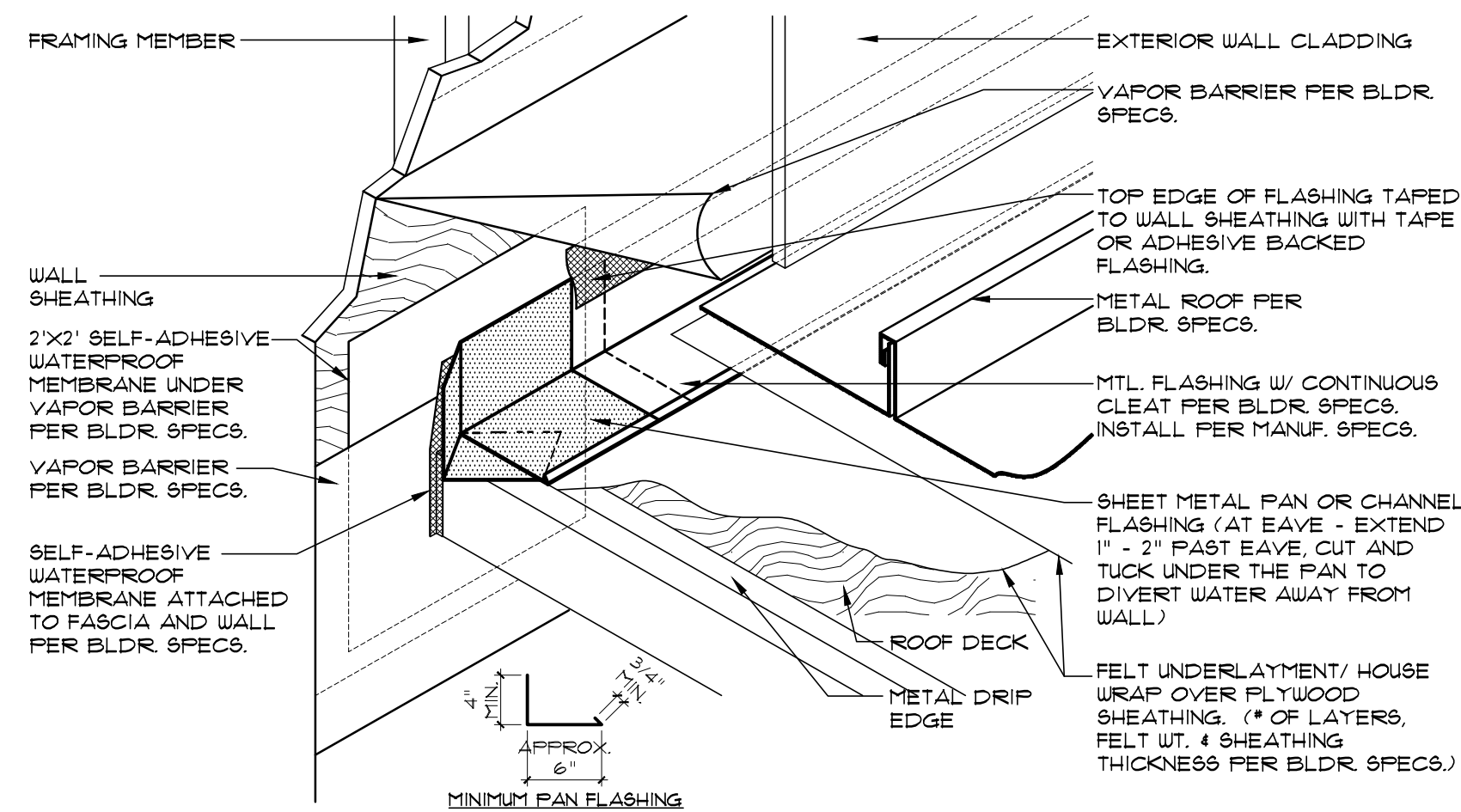
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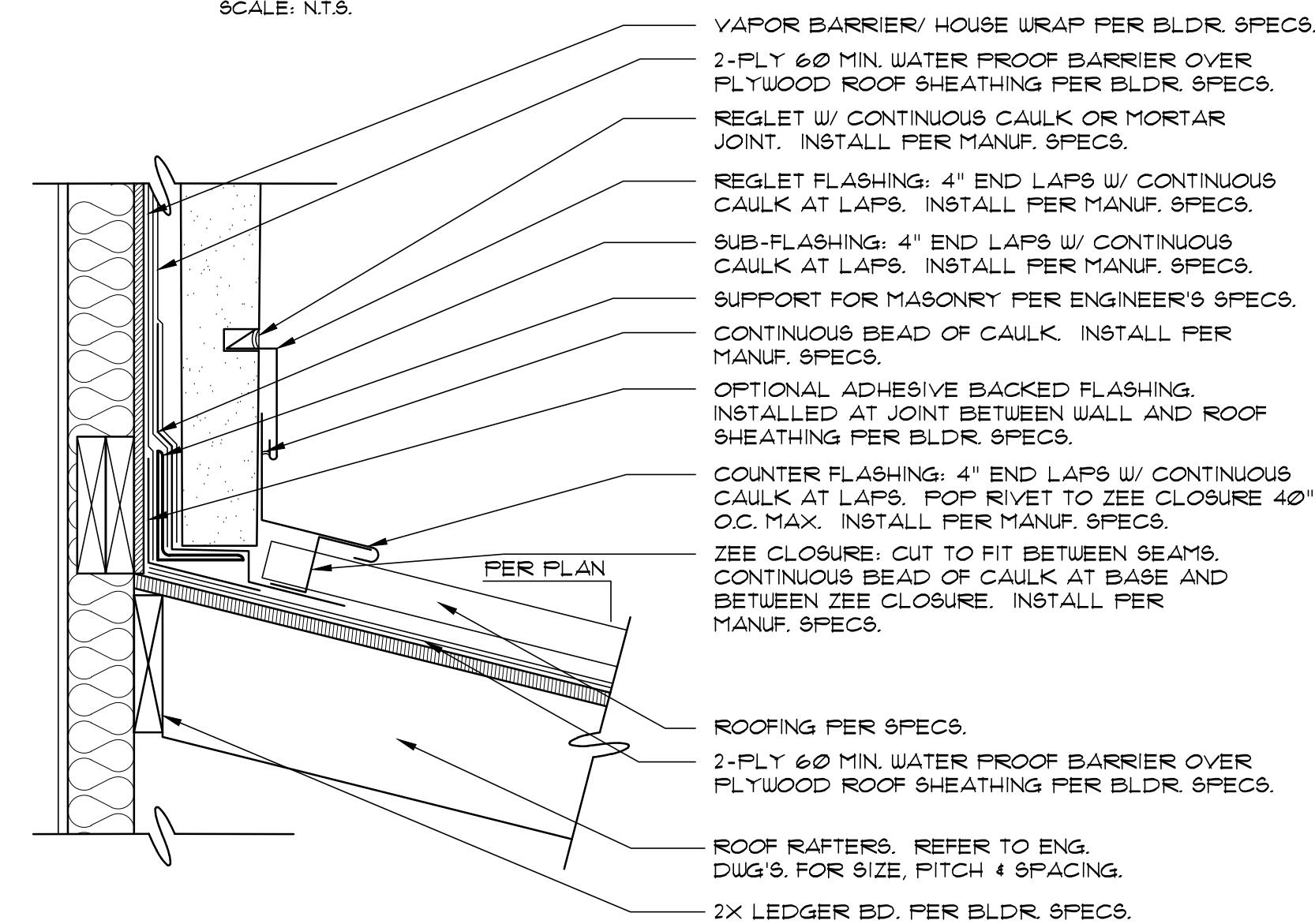
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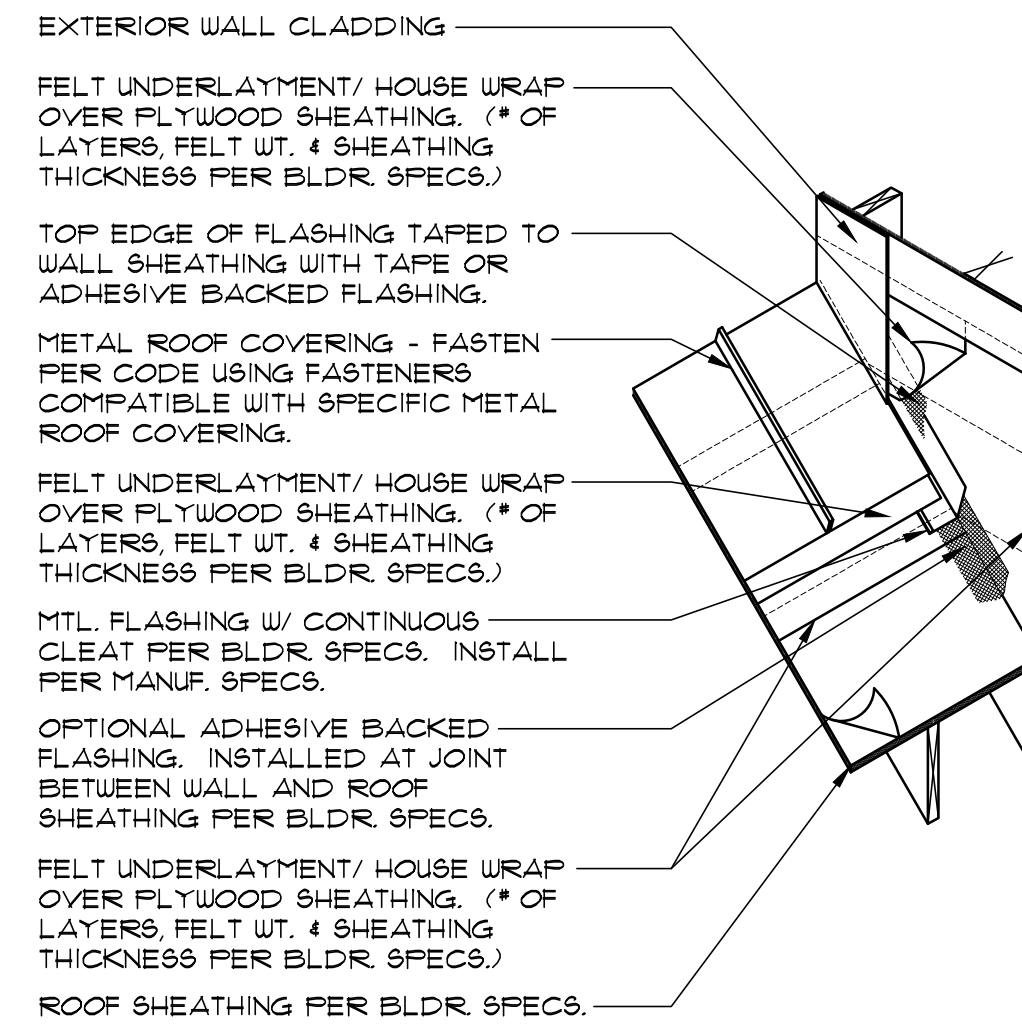
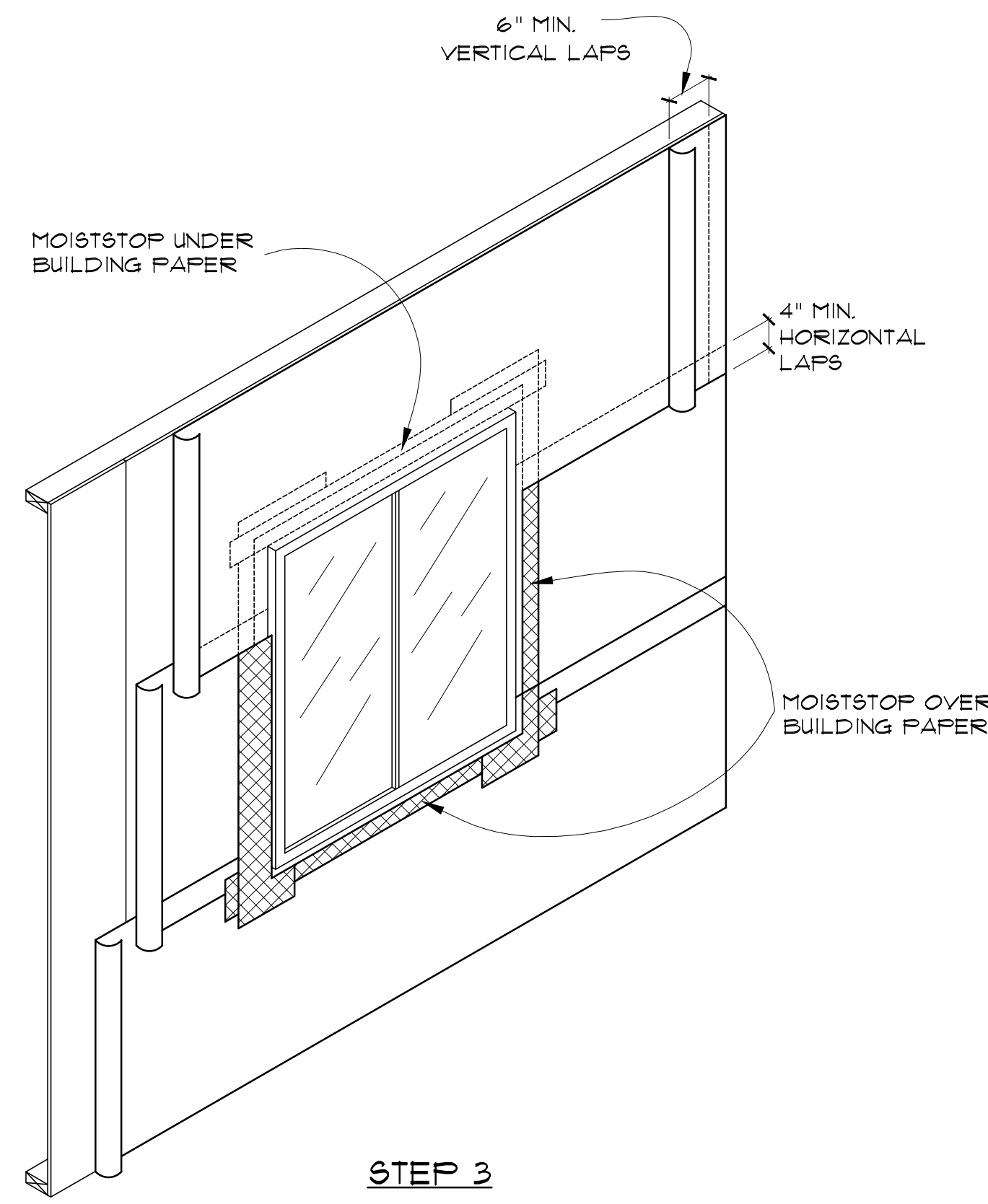
**TYP. WINDOW FLASHING DETAIL**  
NOT TO SCALE



**KICKOUT FLASHING DETAIL @ METAL ROOF**  
SCALE: N.T.S.

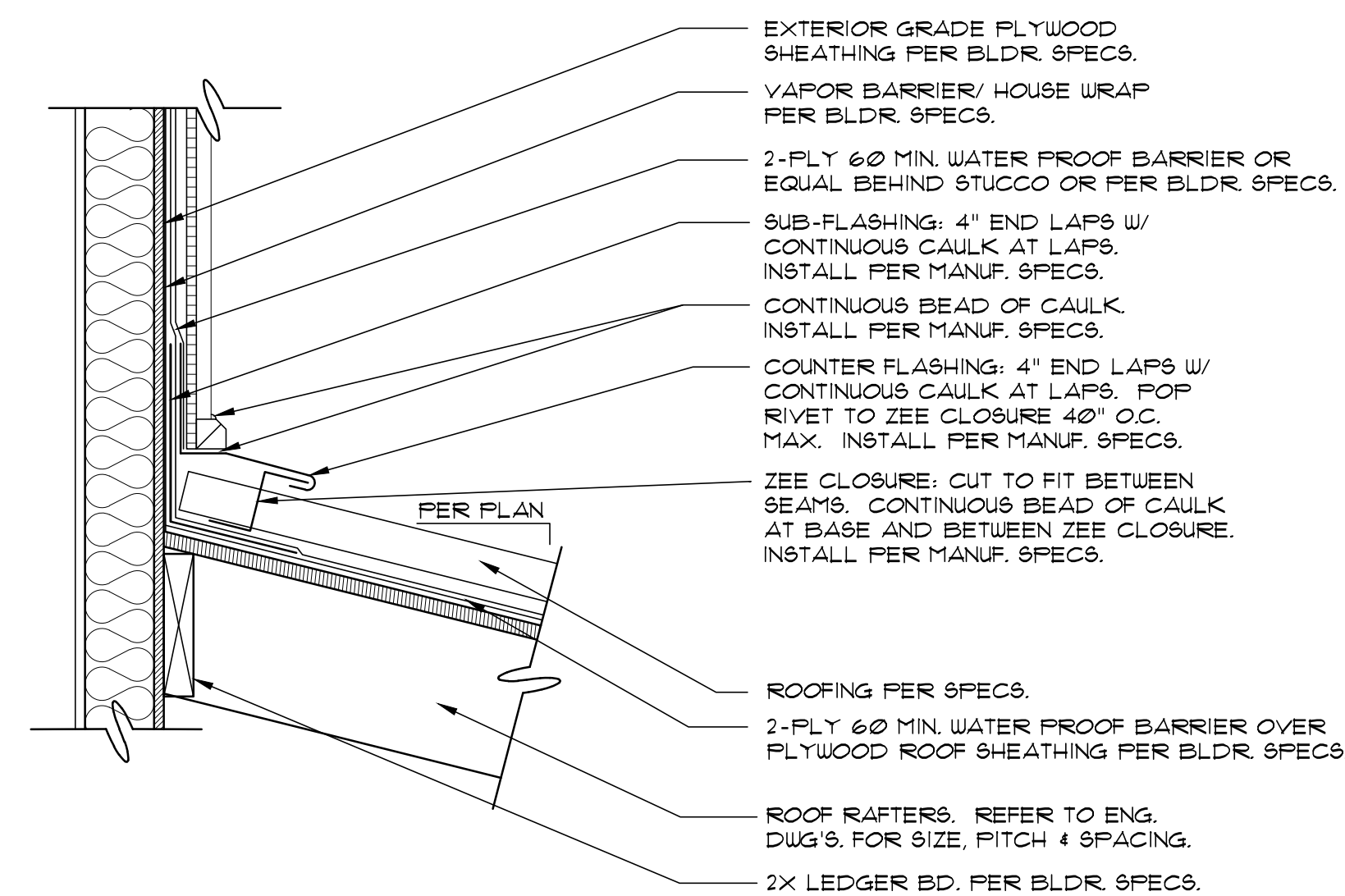


**TYP. MTL. ROOF @ HEAD-WALL STONE EXT. DETAIL**  
SCALE: N.T.S.

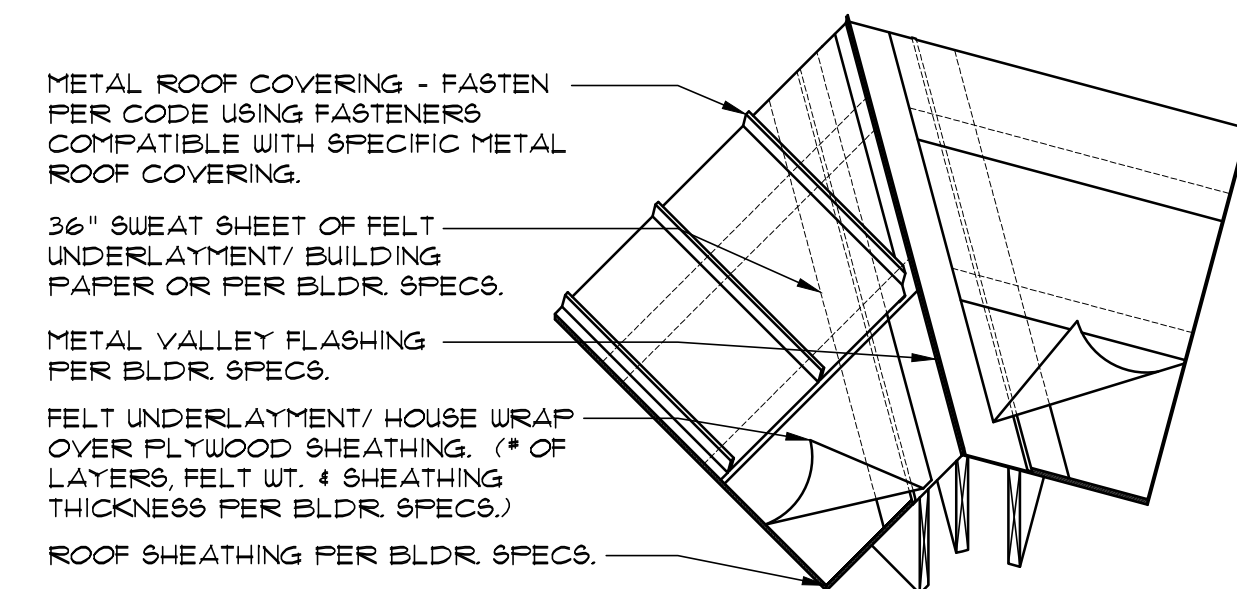
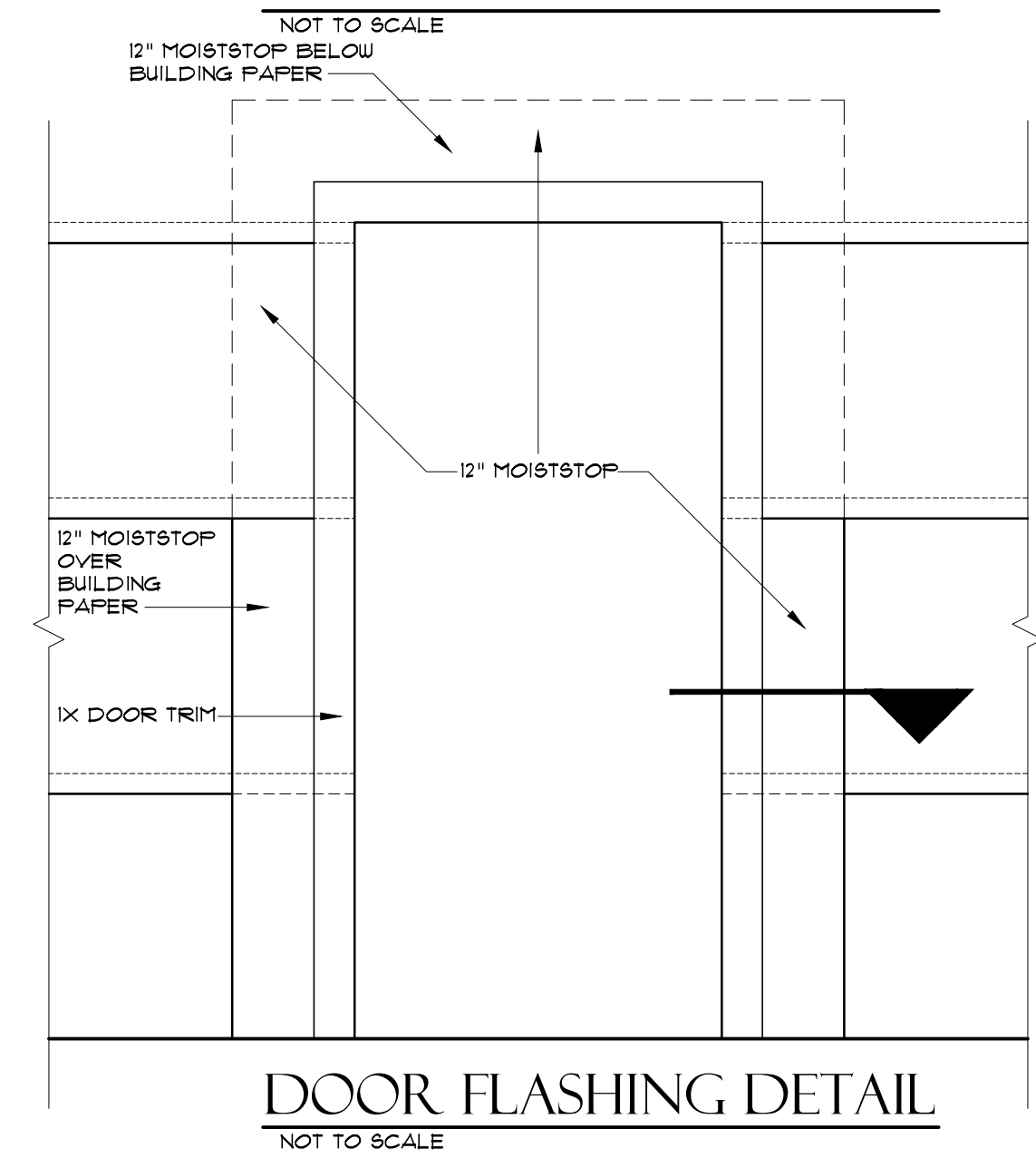
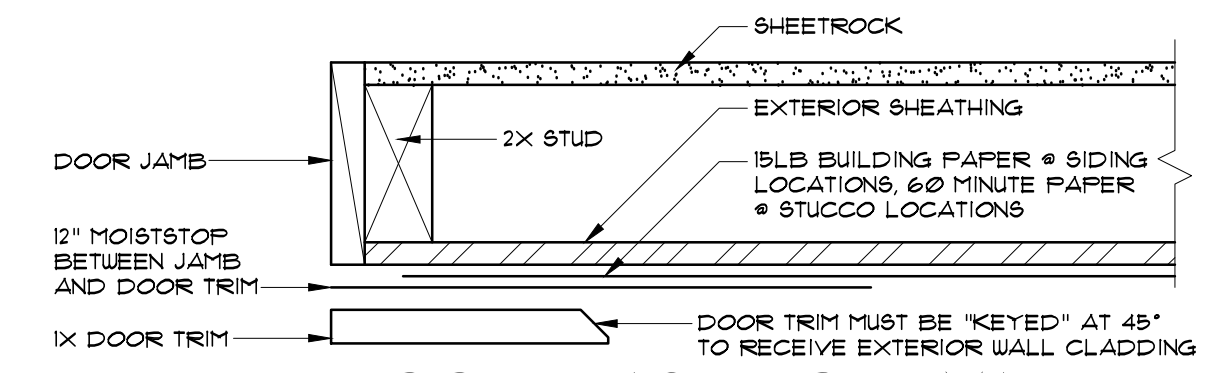


**TYP. ROOF TO VERTICAL WALL FLASHING DETAIL @ METAL ROOF**  
SCALE: N.T.S.

## TYPICAL FLASHING DETAILS

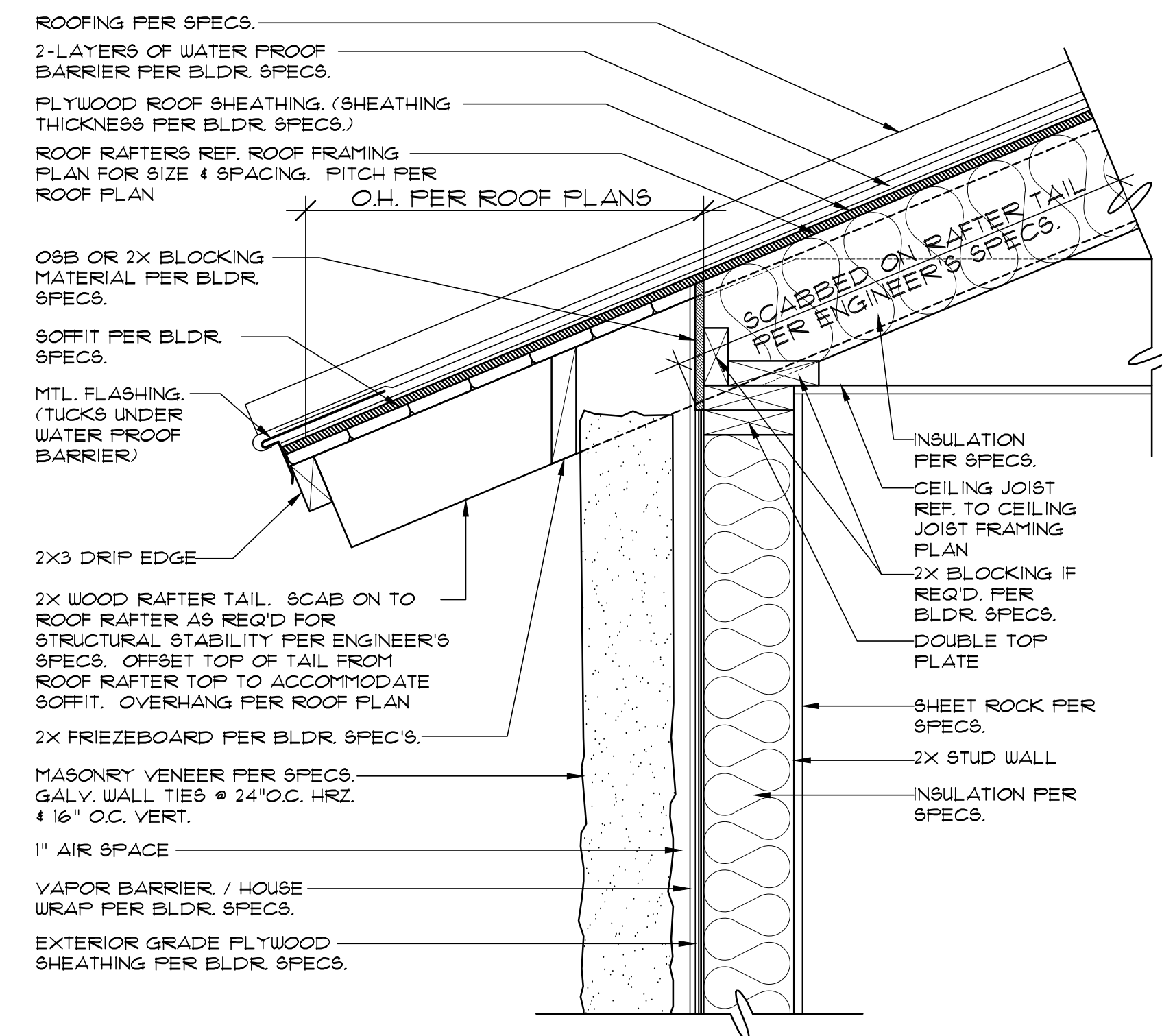


**TYP. MTL. ROOF @ HEAD-WALL SIDING EXT. DETAIL**  
SCALE: N.T.S.

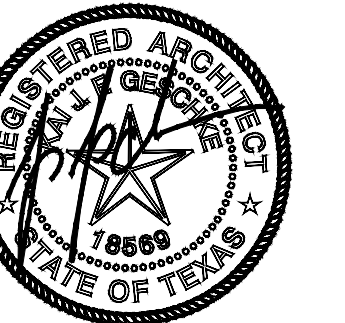


**TYP. VALLEY FLASHING DETAIL @ METAL ROOF**  
SCALE: N.T.S.

NOTE: ROOF PITCH PER ROOF PLANS



**12 EXPOSED RAFTER TAIL SOFFIT WITH STONE EXT. & MTL. ROOF**  
SCALE: 1 1/2" = 1'-0"



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**D-2**  
2 OF 2

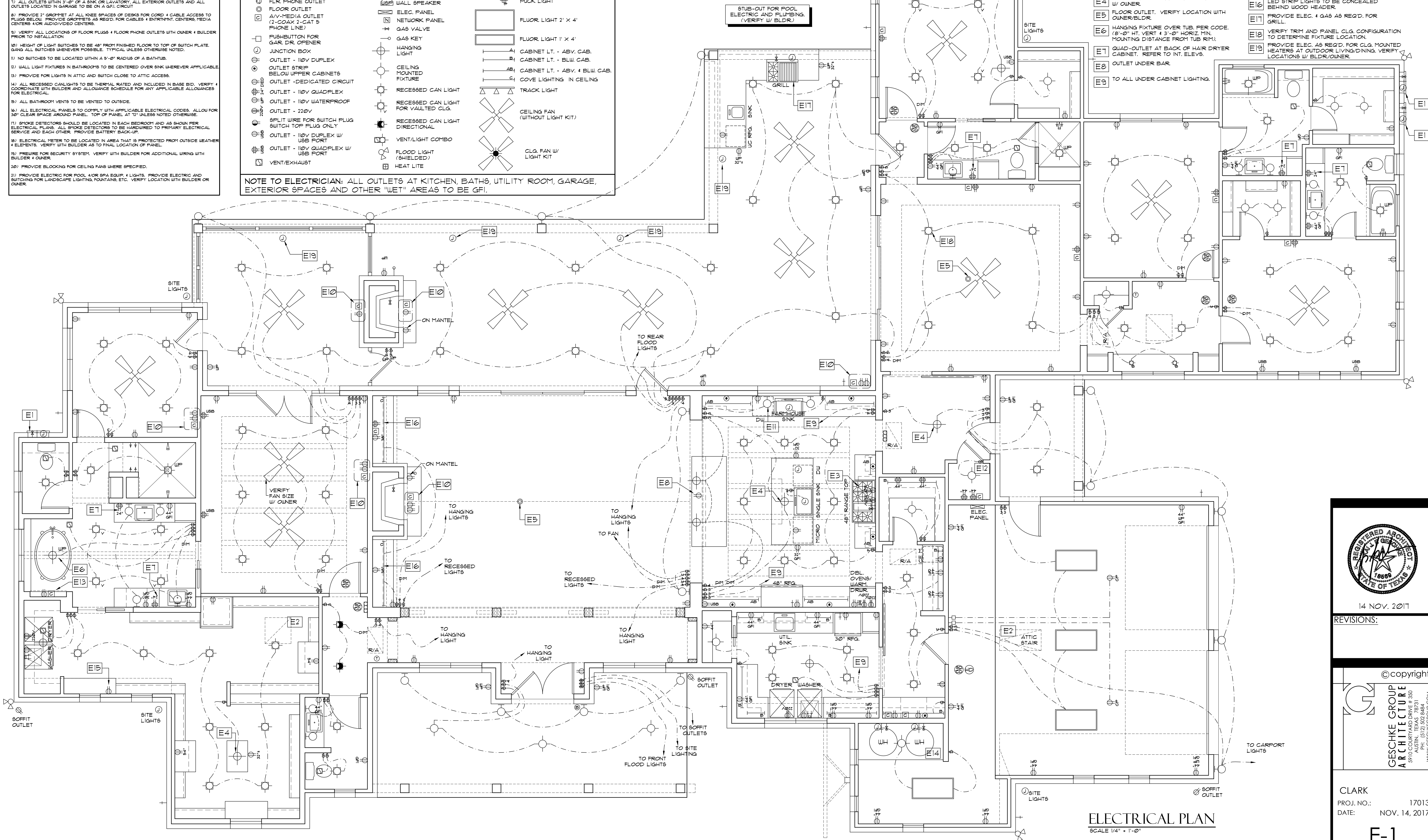
- ELECTRICAL NOTES:**
- 1) ALL WORK DONE FOR THESE PLANS SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES APPLICABLE. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SHOWN ON DRAWINGS.
  - 2) ELECTRICAL SUBCONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE REQUIREMENTS.
  - 3) PROVIDE FOR ALL ELECTRICAL REQUIREMENTS TO HVAC UNITS AS REQ'D. PER MANUF. SPECS. PROVIDE LIGHTS NEAR HVAC UNITS IF LOCATED IN ATTIC.
  - 4) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND APPROVAL OF WIRING, INSTALLATIONS OF FIXTURES, EQUIPMENT AND FOR FINAL ACCEPTANCE OF THE COMPLETED ELECTRICAL INSTALLATIONS BY THE LOCAL ELECTRICAL INSPECTORS.
  - 5) VERIFY LOCATION OF ALL POWER REQUIREMENTS TO ALL APPLIANCES.
  - 6) HEIGHT OF FLOOR OUTLETS & PHONE OUTLETS TO BE 1" FROM FINISHED FLOOR TO TOP OF OUTLET. TYPICAL UNLESS OTHERWISE NOTED.
  - 7) ALL OUTLETS WITHIN 3'-6" OF A SINK OR LAVATORY, ALL EXTERIOR OUTLETS AND ALL OUTLETS LOCATED IN GARAGE TO BE ON A GFI CIRCUIT.
  - 8) PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES & ENTRENCH. CENTERS, MEDIA CENTERS & OR AUDIO/VISIO CENTERS.
  - 9) VERIFY ALL LOCATIONS OF FLOOR PLUGS & FLOOR PHONE OUTLETS WITH OWNER & BUILDER PRIOR TO INSTALLATION.
  - 10) HEIGHT OF LIGHT SWITCHES TO BE 48" FROM FINISHED FLOOR TO TOP OF SWITCH PLATE. GANG ALL SWITCHES WHENEVER POSSIBLE. TYPICAL UNLESS OTHERWISE NOTED.
  - 11) NO SWITCHES TO BE LOCATED WITHIN A 5'-0" RADIUS OF A BATHUB.
  - 12) WALL LIGHT FIXTURES TO BE CENTERED OVER SINK WHEREVER APPLICABLE.
  - 13) PROVIDE FOR LIGHTS IN ATTIC AND SWITCH CLOSE TO ATTIC ACCESS.
  - 14) ALL RECESSED CANLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID. VERIFY & COORDINATE WITH BUILDER AND ALLOWANCE SCHEDULE FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
  - 15) ALL BATHROOM VENTS TO BE VENTED TO OUTSIDE.
  - 16) ALL ELECTRICAL PANELS TO COMPLY WITH APPLICABLE ELECTRICAL CODES. ALLOW FOR 36" CLEAR SPACE AROUND PANEL. TOP OF PANEL AT 12" UNLESS NOTED OTHERWISE.
  - 17) SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN PER ELECTRICAL PLANS. ALL SMOKE DETECTORS TO BE HARDWIRED TO PRIMARY ELECTRICAL SERVICE AND EACH OTHER. PROVIDE BATTERY BACK-UP.
  - 18) ELECTRICAL METER TO BE LOCATED IN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER & ELEMENTS. VERIFY WITH BUILDER AS TO FINAL LOCATION OF PANEL.
  - 19) PREPARE FOR SECURITY SYSTEM. VERIFY WITH BUILDER FOR ADDITIONAL WIRING WITH BUILDER & OWNER.
  - 20) PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
  - 21) PROVIDE ELECTRIC FOR POOL & OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.

- ELECTRICAL LEGEND**
- |                                                 |                                                  |                                 |
|-------------------------------------------------|--------------------------------------------------|---------------------------------|
| SWITCH                                          | OUTLET AT CLG. FOR GARAGE DOOR OPENER            | RECESSED CAN LIGHT WATERPROOF   |
| SWITCH - 3 WAY                                  | EXT. DOOR BELL                                   | WALL MOUNT FIXTURE              |
| SWITCH - 4 WAY                                  | CHIMES                                           | 4" RECESSED CAN LIGHT           |
| SWITCH - DIMMER                                 | THERMOSTAT                                       | SPECIALTY LT. TYPE-A            |
| SWITCH - GFI                                    | SMOKE DETECTOR & CARBON-MONOXIDE DETECTOR COMBO. | SPECIALTY LT. TYPE-B            |
| SWITCH - WATERPROOF                             | HEAT DETECTOR                                    | SPECIALTY LT. TYPE-C            |
| SWITCH - PUSH BUTTON (AIR)                      | SPEAKER                                          | DIRECTIONAL SPOT.               |
| PHONE OUTLET                                    | WALL SPEAKER                                     | RUCK LIGHT                      |
| FLR. PHONE OUTLET                               | ELEC. PANEL                                      | FLUOR. LIGHT 2' X 4'            |
| FLOOR OUTLET                                    | NETWORK PANEL                                    | FLUOR. LIGHT 1' X 4'            |
| A/V-MEDIA OUTLET (2-COAX 2-CAT 5 PHONE LINE)    | GAS VALVE                                        | CABINET LT. - ABV. CAB.         |
| PUSHBUTTON FOR GAR. DR. OPENER                  | GAS KEY                                          | CABINET LT. - BLW. CAB.         |
| JUNCTION BOX                                    | HANGING LIGHT                                    | CABINET LT. - ABV. & BLW. CAB.  |
| OUTLET - 110V DUPLEX                            | CEILING MOUNTED FIXTURE                          | COVE LIGHTING IN CEILING        |
| OUTLET - DEDICATED CIRCUIT                      | RECESSED CAN LIGHT                               | TRACK LIGHT                     |
| OUTLET - 110V QUADPLEX                          | RECESSED CAN LIGHT FOR VAULTED CLG.              | CEILING FAN (WITHOUT LIGHT KIT) |
| OUTLET - 110V WATERPROOF                        | RECESSED CAN LIGHT DIRECTIONAL                   | CLG. FAN W/ LIGHT KIT           |
| OUTLET - 220V                                   | RECESSED CAN LIGHT DIRECTIONAL                   |                                 |
| SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY | VENT/LIGHT COMBO                                 |                                 |
| OUTLET - 110V DUPLEX W/ USB PORT                | FLOOD LIGHT (SHIELDED)                           |                                 |
| OUTLET - 110V QUADPLEX W/ USB PORT              | HEAT LITE                                        |                                 |
| VENT/EXHAUST                                    |                                                  |                                 |
- NOTE TO ELECTRICIAN: ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.**

**SPECIAL ELECTRICAL NOTES**

- E1** (PRICE OPTION) TANKLESS WATER HEATER. PROV. FOR PLUMB, GAS, ELEC. WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS. VERIFY LOCATIONS & # OF UNITS WITH BUILDER PRIOR TO INSTALLATION.
- E2** HVAC IN ATTIC. PROVIDE LIGHT, ELEC. CONNECTIONS & UTIL. AS REQ'D.
- E3** 48" RANGE TOP. PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ABV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- E4** HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.
- E5** FLOOR OUTLET. VERIFY LOCATION WITH OWNER/BUILDER.
- E6** HANGING FIXTURE OVER TUB. PER CODE. (8'-0" HT. VERT. & 3'-0" HORIZ. MIN. MOUNTING DISTANCE FROM TUB RIM).
- E7** QUAD-OUTLET AT BACK OF HAIR DRYER CABINET. REFER TO INT. ELEV'S.
- E8** OUTLET UNDER BAR.
- E9** TO ALL UNDER CABINET LIGHTING.

- E10** TV, CABLE & POWER CONNECTION. VERIFY HT. & EXACT LOCATION W/ OWNER/BUILDER.
- E11** WALL SCONES OVER WINDOW PER OWNER'S SELECTION. VERIFY MOUNTING HT.
- E12** PROVIDE ELEC. AS REQ'D. FOR HOME RUN CLOSET.
- E13** PROVIDE ELEC. AS REQ'D. PER CODE. VERIFY HT. W/ BUILDER.
- E14** WATER HEATER ON 18" HT. RAISED PLATFORM. PROV. FOR PLUMB, GAS, ELEC. WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- E15** PROVIDE ELEC. FOR IRON. VERIFY HT. W/ BUILDER.
- E16** LED STRIP LIGHTS TO BE CONCEALED BEHIND WOOD HEADER.
- E17** PROVIDE ELEC. & GAS AS REQ'D. FOR GRILL.
- E18** VERIFY TRIM AND PANEL CLG. CONFIGURATION TO DETERMINE FIXTURE LOCATION.
- E19** PROVIDE ELEC. AS REQ'D. FOR CLG. MOUNTED HEATERS AT OUTDOOR LIVING/DINING. VERIFY LOCATIONS W/ BUILDER/OWNER.



**ELECTRICAL PLAN**  
SCALE 1/4" = 1'-0"



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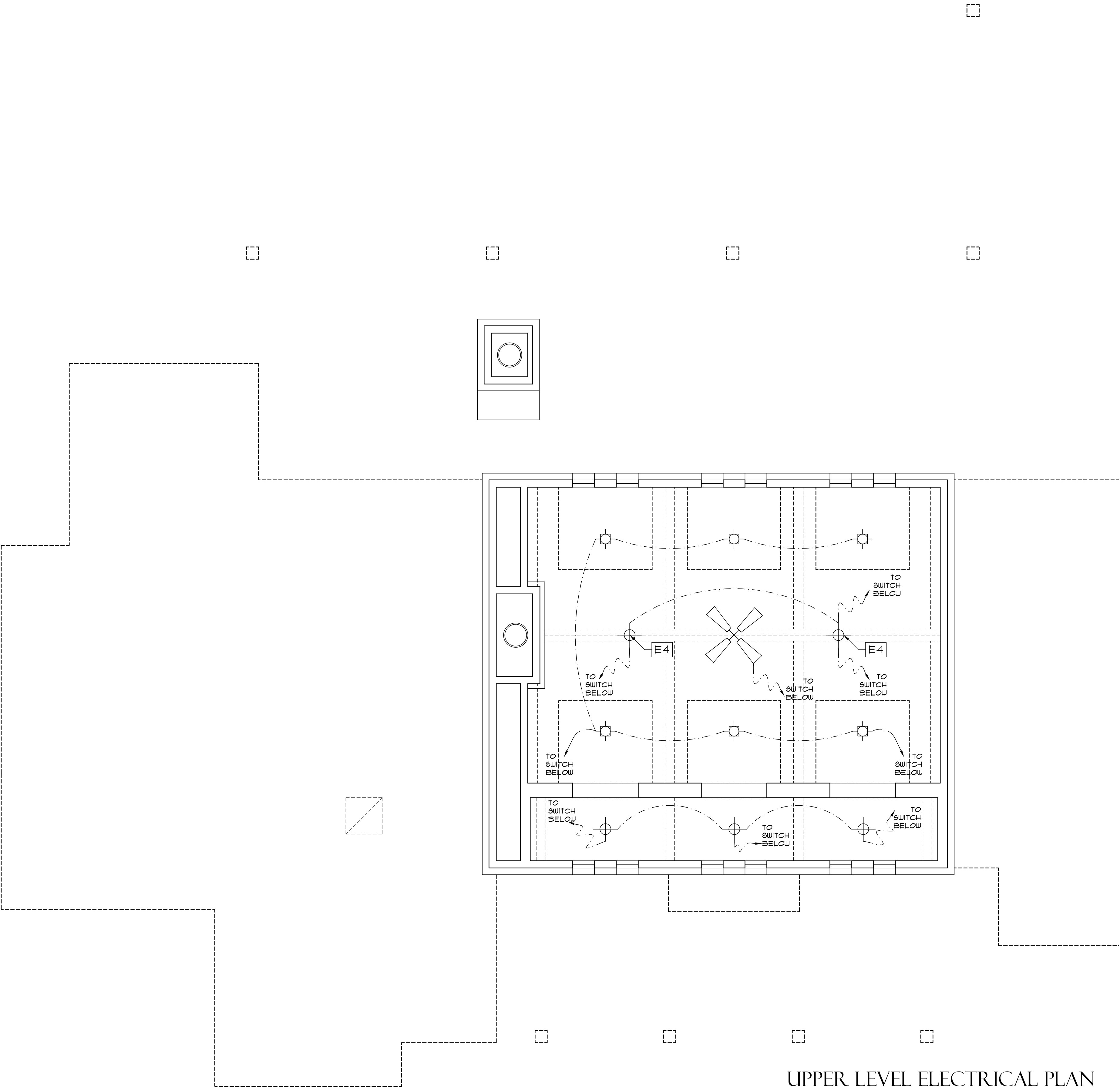
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**E-1**

1 OF 2



UPPER LEVEL ELECTRICAL PLAN  
SCALE 1/4" = 1'-0"

**ELECTRICAL LEGEND**

SWITCH - 3 WAY

SWITCH - 4 WAY

SWITCH - DIMMER

SWITCH - GFI

SWITCH - WATERPROOF

SWITCH - PUSH BUTTON (AIR)

PHONE OUTLET

FLOOR OUTLET

AV-MEDIA OUTLET (2-COAX 2-CAT 5 PHONE LINE)

PUSHBUTTON FOR GAR. DR. OPENER

JUNCTION BOX

OUTLET - 110V DUPLEX

OUTLET STRIP BELOW UPPER CABINETS

OUTLET -DEDICATED CIRCUIT

OUTLET - 110V QUADPLEX

OUTLET - 110V WATERPROOF

OUTLET - 220V

SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY

OUTLET - 110V DUPLEX w/ USB PORT

OUTLET - 110V QUADPLEX w/ USB PORT

VENT/EXHAUST

EXT. DOOR BELL

CHIMES

THERMOSTAT

SMOKE DETECTOR + CARBON-MONOXIDE DETECTOR COMBO.

HEAT DETECTOR

SPEAKER

WALL SPEAKER

ELEC. PANEL

NETWORK PANEL

GAS VALVE

GAS KEY

HANGING LIGHT

CEILING MOUNTED FIXTURE

RECESSED CAN LIGHT

RECESSED CAN LIGHT FOR VAULTED CLG.

RECESSED CAN LIGHT DIRECTIONAL

VENT/LIGHT COMBO

FLOOD LIGHT (SHIELDED)

HEAT LITE

RECESSED CAN LIGHT WATERPROOF

WALL MOUNT FIXTURE

4" RECESSED CAN LIGHT

SPECIALTY LT. TYPE-A

SPECIALTY LT. TYPE-B

SPECIALTY LT. TYPE-C DIRECTIONAL SPOT.

FLUOR. LIGHT 2' X 4'

FLUOR. LIGHT 1' X 4'

CABINET LT. - ABV. CAB.

CABINET LT. - BLW. CAB.

CABINET LT. - ABV. + BLW. CAB.

COVE LIGHTING IN CEILING

TRACK LIGHT

CEILING FAN (WITHOUT LIGHT KIT)

CLG. FAN w/ LIGHT KIT

**NOTE TO ELECTRICIAN:** ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.

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- PROVIDE FOR ALL ELECTRICAL REQUIREMENTS TO HVAC UNITS AS REQ'D. PER MANUF. SPECS. PROVIDE LIGHTS NEAR HVAC UNITS IF LOCATED IN ATTIC.
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- VERIFY LOCATION OF ALL POWER REQUIREMENTS TO ALL APPLIANCES.
- HEIGHT OF FLOOR OUTLETS + PHONE OUTLETS TO BE 12" FROM FINISHED FLOOR TO TOP OF OUTLET. TYPICAL UNLESS OTHERWISE NOTED.
- ALL OUTLETS WITHIN 3'-0" OF A SINK OR LAVATORY, ALL EXTERIOR OUTLETS AND ALL OUTLETS LOCATED IN GARAGE TO BE ON A GFI CIRCUIT.
- PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD + CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES + ENTERTAIN. CENTERS, MEDIA CENTERS +/OR AUDIO/VIDEO CENTERS.
- VERIFY ALL LOCATIONS OF FLOOR PLUGS + FLOOR PHONE OUTLETS WITH OWNER + BUILDER PRIOR TO INSTALLATION.
- HEIGHT OF LIGHT SWITCHES TO BE 48" FROM FINISHED FLOOR TO TOP OF SWITCH PLATE. GANG ALL SWITCHES WHENEVER POSSIBLE. TYPICAL UNLESS OTHERWISE NOTED.
- NO SWITCHES TO BE LOCATED WITHIN A 5'-0" RADIUS OF A BATHTUB.
- WALL LIGHT FIXTURES IN BATHROOMS TO BE CENTERED OVER SINK WHEREVER APPLICABLE.
- PROVIDE FOR LIGHTS IN ATTIC AND SWITCH CLOSE TO ATTIC ACCESS.
- ALL RECESSED CANLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID. VERIFY + COORDINATE WITH BUILDER AND ALLOWANCE SCHEDULE FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
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- ALL ELECTRICAL PANELS TO COMPLY WITH APPLICABLE ELECTRICAL CODES. ALLOW FOR 36" CLEAR SPACE AROUND PANEL. TOP OF PANEL AT 12" UNLESS NOTED OTHERWISE.
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- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- PROVIDE ELECTRIC FOR POOL +/OR SPA EQUIP. + LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.

**SPECIAL ELECTRICAL NOTES:**

E1

(PRICE OPTION) TANKLESS WATER HEATER. PROV. FOR PLUMB, GAS, ELEC, WATER HARDWARE, AND FAN + DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS. VERIFY LOCATIONS + # OF UNITS WITH BUILDER PRIOR TO INSTALLATION.

E2

HVAC IN ATTIC. PROVIDE LIGHT, ELEC. CONNECTIONS + UTIL. AS REQ'D.

E3

48" RANGECOP. PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ABV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D.

E4

HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.

E5

FLOOR OUTLET. VERIFY LOCATION WITH OWNER/BLDR.

E6

HANGING FIXTURE OVER TUB. PER CODE. (8'-0" HT. VERT + 3'-0" HORIZ. MIN. MOUNTING DISTANCE FROM TUB RIM).

E7

QUAD-OUTLET AT BACK OF HAIR DRYER CABINET. REFER TO INT. ELEVS.

E8

OUTLET UNDER BAR.

E9

TO ALL UNDER CABINET LIGHTING.

E10

TV, CABLE + POWER CONNECTION. VERIFY HT. + EXACT LOCATION W/ OWNER/ BLDR.

E11

WALL SCONCES OVER WINDOW PER OWNER'S SELECTION. VERIFY MOUNTING HT.

E12

PROVIDE ELEC. AS REQ'D. FOR HOME RUN CLOSET.

E13

PROVIDE ELEC. AS REQ'D. PER CODE. VERIFY HT. W/ BLDR.

E14

WATER HEATER ON 18" HT. RAISED PLATFORM. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND FAN + DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.

E15

PROVIDE ELEC. FOR IRON. VERIFY HT. W/ BLDR.

E16

LED STRIP LIGHTS TO BE CONCEALED BEHIND WOOD HEADER.

E17

PROVIDE ELEC. + GAS AS REQ'D. FOR GRILL.

E18

VERIFY TRIM AND PANEL CLG. CONFIGURATION TO DETERMINE FIXTURE LOCATION.

E19

PROVIDE ELEC. AS REQ'D. FOR CLG. MOUNTED HEATERS AT OUTDOOR LIVING/DINING. VERIFY LOCATIONS W/ BLDR/OWNER.

14 NOV. 2017  
REVISIONS:

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G

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CLARK  
PROJ. NO.: 17013  
DATE: NOV. 14, 2017

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